

NOTICE OF PUBLIC MEETING

Pursuant to Section 19.84, Wis. Stats., notice is hereby given to the public that the **Plan Commission** of the City of De Pere will meet on May 28, 2013 at 7:00 p.m. in the City Hall Council Chambers, Second Floor, City Hall, 335 South Broadway, De Pere, WI 54115.

** Items with an asterisk require City Council approval*

AGENDA FOR SAID MEETING:

1. Roll Call.
2. Approve the minutes of the regular meeting of the Plan Commission on April 22, 2013.
3. Review the Site Plan Application for a 39,060 square foot building expansion at Infinity Machine, 2249 American Blvd. Applicant: Schuh Construction.
4. Review the plan for the proposed Walgreens.*
 - a. Review the Precise Implementation Plan (PIP) for Walgreens located at the northeast corner of Broadway and Wisconsin. Applicant: Midland Development.
 - b. Review the CSM for the site. Applicant: Midland Development.
5. Review the following land division in the City of De Pere.
 - a. Review a 2 lot CSM located on the southeast corner of Scheuring Road and Matthew Drive. Surveyor: Steve Bieda. *
 - b. Review a single lot and single outlot CSM on the northwest corner of Ashland Avenue and Glory Road. Surveyor: Steve Bieda.*
6. Review the Affidavit for modifying the Green Area/Drainage Swale width on Trailside Estates. Surveyor: Steve Bieda.*
7. Review the extraterritorial 4 lot CSM on Tezlaff Road in the Town of Rockland. Surveyor: Steve Zeitler.*
8. Review the zoning code amendments for rezoning protest petitions and time for council action on rezoning applications.*
9. Future agenda items.
10. Adjournment.

Ken Pabich
Director of Planning and Economic Development

Notice is hereby given that a majority of the members of the Common Council of the City of De Pere may attend this meeting to gather information about a subject(s) over which they have decision-making responsibility.

Any person wishing to attend this meeting who, because of disability, requires special accommodation should contact the City Administrator at 339-4044.

AGENDA SENT TO:

PLAN COMMISSION MEMBERS
HISTORIC PRESERVATION COMMISSION
ALDERPERSONS
BULLETIN BOARDS
NEWS MEDIA
DACC
DOWNTOWN DE PERE INC
TOWN OF LEDGEVIEW
TOWN OF LAWRENCE
TOWN OF ROCKLAND

ITEM 1-2: NONE

ITEM 3:

SCHUH CONSTRUCTION
INFINITY MACHINE

ITEM 4:

MIDLAND COMMERCIAL
126 SOUTH BROADWAY LLC
AYMEE BALISON
BANK MUTUAL
BEILKE LLC
BELLA NOVA LLC
CAROL C SHIER
DEPERE LAW BUILDING LLC
FEDERAL NATIONAL MORTGAGE
GERALD/ELIZABETH KRYSHAK
GET REEL ENTERTAINMENT LLC
GILLESPIE PROPERTIES LLC
HARRY MACCO
HZ PROPERTIES LLC
J & J ENTERPRISES OF DE PERE LLP
JDA ENTERPRISES OF WISCONSIN LLC
JEROME SECOR REVOCABLE TRUST
KENNETH & SYLVIA BUTZ
KEVIN J & WENDY M KRYSHAK
KORDES LLC
MEDICAL ARTS COMPLEX CENTER SC
PALS RENTALS LLC
SAINT FRANCIS XAVIER
SEROOGY BROTHERS LLP
THE LEE BUILDING CORP
THOMAS A BARTEL
THOMAS ZOELLER
TIMOTHY V & LORI A KARL
WADE CONARD

ITEM 5:

MAU AND ASSOCIATES
MARK SODERLUND

ITEM 6:

MAU AND ASSOCIATES

ITEM 7:

DUANE TETZLAFF

ITEM 8: NA

DRAFT

CITY PLAN COMMISSION De Pere, Wisconsin – April 22, 2013

A meeting of the De Pere Plan Commission was held today at 7:25 p.m. in the Council Chambers of the De Pere City Hall.

1. Roll Call.

Aldersperson Boyd called the meeting to order at 7:25 p.m. Roll call was taken, and the following members were present: Derek Beiderwieden, Steven Taylor, Elizabeth Runge, and Aldersperson James Boyd. Members excused: James Kalny, Aldersperson Larry Lueck, and Mayor Michael Walsh. Also present: City Planning Director Kenneth Pabich, and members of the public.

2. Approve the minutes of the regular meeting on March 25, 2013.

Steve Taylor moved, seconded by Derek Beiderwieden, to approve the minutes. Upon vote, motion carried unanimously.

3. Review the Site Plan Application for an 18,803 square foot building expansion at Belmark, 600 Heritage Road. Applicant: Boldt Construction.

Elizabeth Runge moved, seconded by Derek Beiderwieden, to approve the Site Plan Application. Upon vote, motion carried unanimously.

4. Review the Site Plan Application for a 3,931 square foot building expansion at VHC, 2121 American Boulevard. Applicant: Best Built.

Steve Taylor moved, seconded by Derek Beiderwieden, to approve the Site Plan Application contingent on the applicant receiving approval from the City's Fire Department. Upon vote, motion carried unanimously.

5. Review the Site Plan Application for a 2,880 square foot building expansion at Fox River Fiber, 1751 Matthew Drive. Applicant: Boldt Construction.

Aldersperson Boyd moved, seconded by Steve Taylor, to approve the Site Plan Application. Upon vote, motion carried unanimously.

6. Request for motorcycle sales, and service in a single unit of Storage Shop USA under the approved PDD, 701 Millennium Court. Requestor: Rock Wery.

Aldersperson Boyd moved, seconded by Derek Beiderwieden, to open the meeting to the public. Upon vote, motion carried unanimously.

Mr. Wery emphasized that his business will be low-key, minimal noise, and that everything would be contained inside the building.

DRAFT

Alderson Boyd moved, seconded by Steven Taylor, to go back to regular order. Upon vote, motion carried unanimously.

Derek Beiderwieden moved, seconded by Alderson Boyd, to approve the request. Upon vote, motion carried unanimously.

7. Review the Rezoning Request for Parcel WD-74, and a portion of parcel WD-D0230 from General Industrial District (I-3) to General Business District (B-2), 710 Glory Road. Applicant: City of De Pere.

Elizabeth Runge moved, seconded by Steven Taylor, to approve the rezoning request. Upon vote, motion carried unanimously.

8. Future agenda items. The next Plan Commission falls on a holiday; discussion was held to move the meeting forward to the next day—May 28, 2013.

9. Adjournment.

Elizabeth Runge moved, seconded by Steve Taylor, to adjourn the meeting at 8:00 p.m. Upon vote, motion carried unanimously.

Respectfully submitted,
Lori Phillips, Recording Secretary


Item #3: Review The Site Plan Application For A 39,060 Square Foot Building Expansion At Infinity Machine, 2249 American Boulevard. Applicant: Schuh Construction.

Overview	
The proposal is for an addition onto the existing facility of 39,060 sq. ft. The addition would include production space and also future office space.	
Public Works	
Does the project meet the City's Stormwater regulations?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Sewer properly connected?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Water properly connected?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Access properly designed (driveway and sidewalks)?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Are there any issues with easements or right-of-ways?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> NA
Are there other items that need to be addressed?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> NA
<i>Required Actions:</i>	
Sanitary Sewer	
1. The existing sanitary main is 24" PVC, not 16" as shown on the plan. There is an existing 6" PVC sanitary sewer lateral centered on Lot 8, 10 feet north of the water lateral. Utilize this connection in place of the one shown on the plan. Show the size of the new lateral on the plan.	
Water Main	
1. There is a 6" water lateral extended to the property line.	
2. Abandoned existing unused connections to the property at the main under the observation of City personnel.	
Storm Water Management	
1. There is a 15" storm lateral extended from the inlet in the street to the property line.	
2. Discharge to the City's storm sewer is limited to a five (5) year event, runoff coefficient of .85 with an intensity of 2.5. This is consistent with the initial construction requirements.	
3. Storm water management will be provided by a City regional detention pond.	
4. Provide a storm water management plan for the site.	
5. Provide a tracking pad on the erosion control plan. Show the dimensions on the plan to verify the size can accommodate construction vehicle ingress and egress from the site.	
Traffic/Vehicle Access:	
1. The second curb cut for a two-way driveway is permitted and less than the maximum width allowed.	
2. A second median cut is not approved at the new drive entrance. Utilize the median cut at the existing driveway.	
3. Existing driveway approaches within the right of way should be 6-inch concrete. Driveways for heavy trucks should be 8-inch.	
General:	
1. The plan provided is not scalable.	
Forestry & Parks	
Does the project meet the City Landscaping Regulations?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
<i>Required Actions:</i>	
1. All planting, mulching, and staking should be in accordance with WDNR recommendations, and current proper practices. There are guidelines included on the Landscape Plan, but they should be altered to meet the proper guidelines set by the WDNR.	
2. All plant material, and beds should have a follow-up schedule for maintenance, and replacement. It is essential that this schedule be established to ensure that the plants are maintained for health, and any compromised plants are to be replaced in a timely manner.	
3. A preservation, and protection plan for existing vegetation, and trees, including City owned trees, and shrubs, should be included in the plans when applicable.	
<i>Recommendation</i>	
4. It appears the plantings will perform well in our environment. The plan is, however, lacking in color. It would be a great addition to add other shrubs and perennials that provide seasonal color in all planting areas.	

Fire	
Does the project meet City Fire Codes?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
<i>Required Actions:</i>	
1. Provide detailed plans prior to start of construction for construction review; provide details of use for all areas of structure. 2. Separation of hazards/use may be required. Provide floor arrangement for inside structure. Detail any hazardous substances/operations anticipated within the structure, review of existing safeguards, and quantities is required. 3. Provide details for the means of egress throughout the structure. Provide exit/emergency lighting throughout the means of egress. Existing and proposed egress are subject to review. 4. "No smoking" and floor loading signage may be required 5. Fire lane is subject to review for adequacy based on discussions with designer. 6. Provide fire extinguishers at maximum 75' travel distances, locate extinguishers towards exits. 7. Provide sprinkler system drawings with calcs, and cut sheets for approval prior to installation. 8. Provide fire alarm system drawings for approval prior to expansion of system.	
Planning & Building Inspection	
Does the project meet the design regulations (exterior building elevations/materials)?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Does the project meet the City setback requirements?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Does the project meet the City parking requirements?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Does the project meet the City lighting requirements?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Is the refuse properly sited and screened?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Will the signage meet City code?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Are there other items that need to be addressed?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> NA
<i>Required Actions: None</i>	

Recommendation:

Staff recommends approval of the project contingent on the items identified above being addressed.

	CITY OF DE PERE APPLICATION FOR SITE PLAN REVIEW	Fee: \$ 245.00 Receipt #: <u>82922</u> Date: <u>5-21-13</u>
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Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: And Beyond, LLC - Scott Santaga
Mailing Address: 2249 American Blvd, De Pere, WI 54115
Phone: (920) 965-0222
Email: ssantaga@infinitymec.com


I hereby appoint the following as my agent for purposes of this application:

Agent: Name: Schuh Construction, Inc. - Jay McKeefry
Mailing Address: N9351 Isaar Road, Seymour, WI 54165
Phone: (920) 833-6465
Email: jaym@schuhconstruction.com


B. Property Information

Address/Location of Property: 2249 American Boulevard Parcel #: WD-1372
Parcel Dimension: 430' x 412.09' Parcel Area: 177,165 SQ FT
Legal Description: SOUTHBRIDGE BUSINESS PARK 1ST ADDN LOTS 7 & 8

A Site Plan Review is requested as authorized by the De Pere Zoning Code, Section(s): Article XIII, Section 14.60.



Owner Signature



Agent Signature

5/17/13

Date

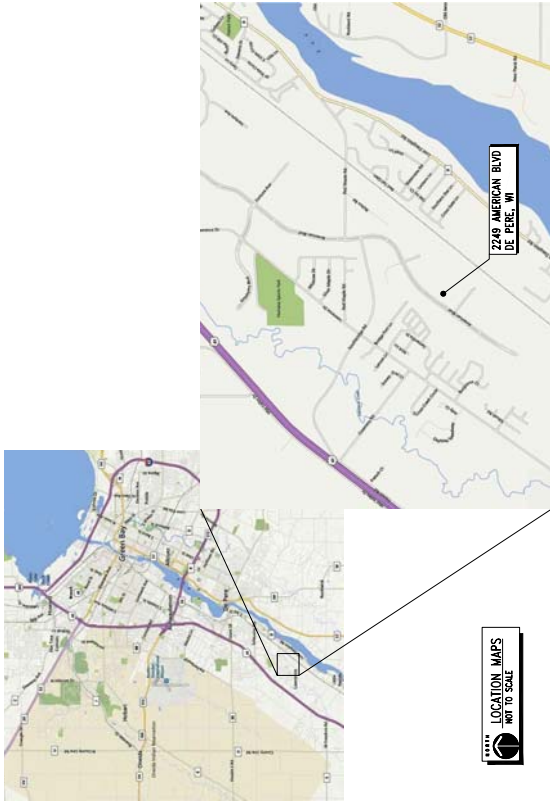
5/17/13

Date

A plan consisting of all applicable information listed on the attached shall be submitted with this application. An AutoCAD drawing matching the state approved plans must be submitted in Brown County Coordinates before permits can be issued.

INFINITY MACHINE CORP BUILDING ADDITION

2249 AMERICAN BLVD - DE PERE, WI



LOCATION MAPS
NOT TO SCALE

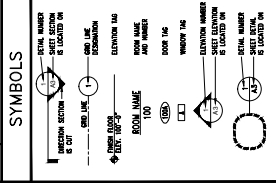


SITE KEY
NOT TO SCALE



RENDERED EXTERIOR PERSPECTIVE
NOT TO SCALE

SHEET INDEX		INDEX	
TS	SHEET INDEX, SYMBOL KEY, SITE PLAN		
C1	EXISTING / NEW SITE PLAN		
C2	PROPOSED SITE PLAN		
C3	LANDSCAPING PLAN / COLOR SITE PLAN		
C4	LOADING & EXISTING CONTROL PLAN		
A-1.1	FLOOR PLAN		
A-1.2	ELEVATIONS		



Schuh Construction Inc.
Established 1976
18511 East Road, Seymour, WI 54158 / 708.833.6445 / 708.833.1178 / www.schuhconstruction.com

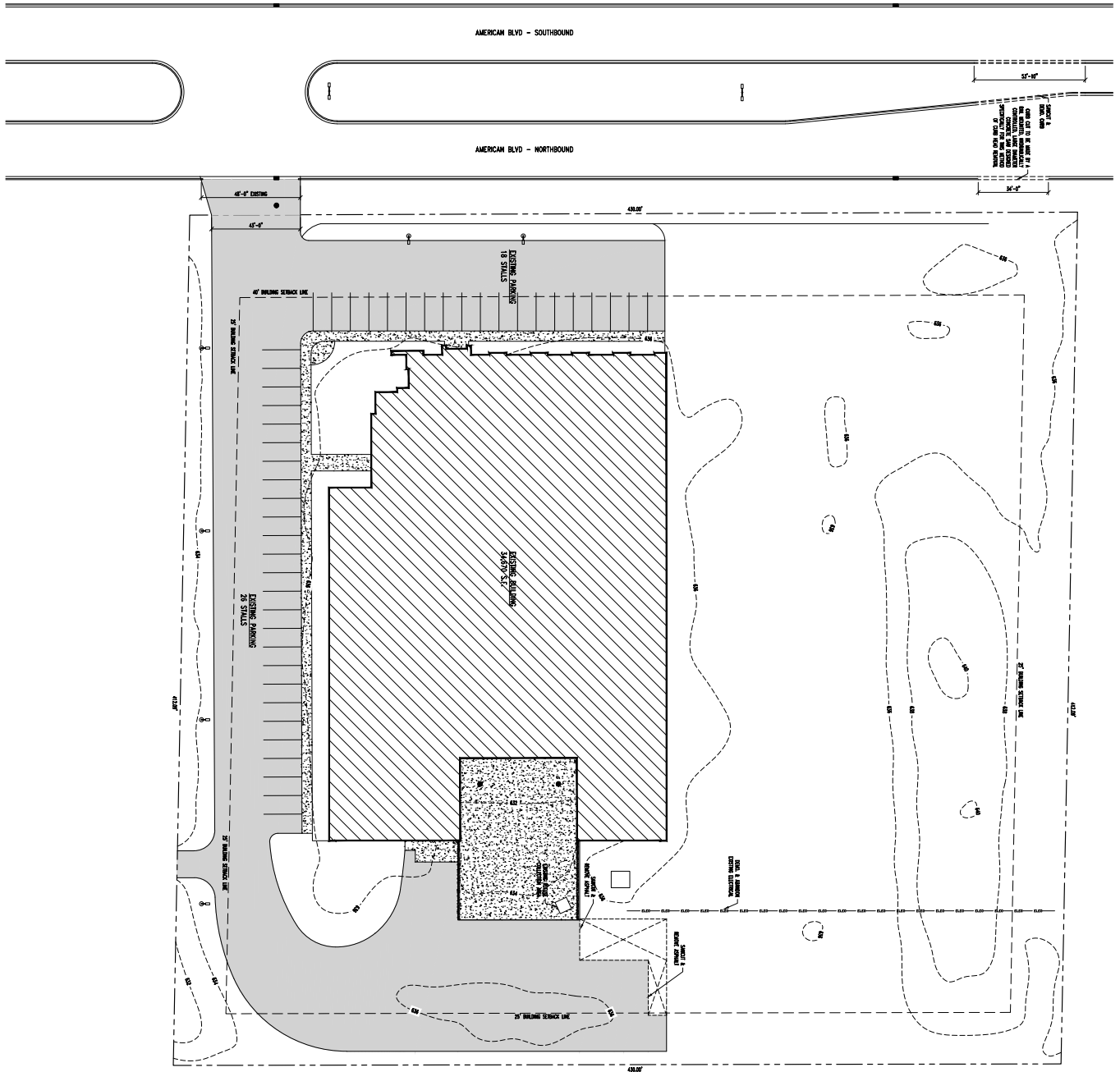
DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

INFINITY
Architecture by design

PROJECT:
INFINITY MACHINE CORP
BUILDING ADDITION
2249 AMERICAN BLVD
DE PERE, WI 54115

PROJECT NO.:
13-327

SHEET NO.:
TS



EXISTING/DEMOLITION PLAN

C1

SHEET NO.

13-327

PROJECT NO.

PROJECT:
**INFINITY MACHINE CORP
BUILDING ADDITION**

2249 AMERICAN BLVD
DE PERE, WI 54115

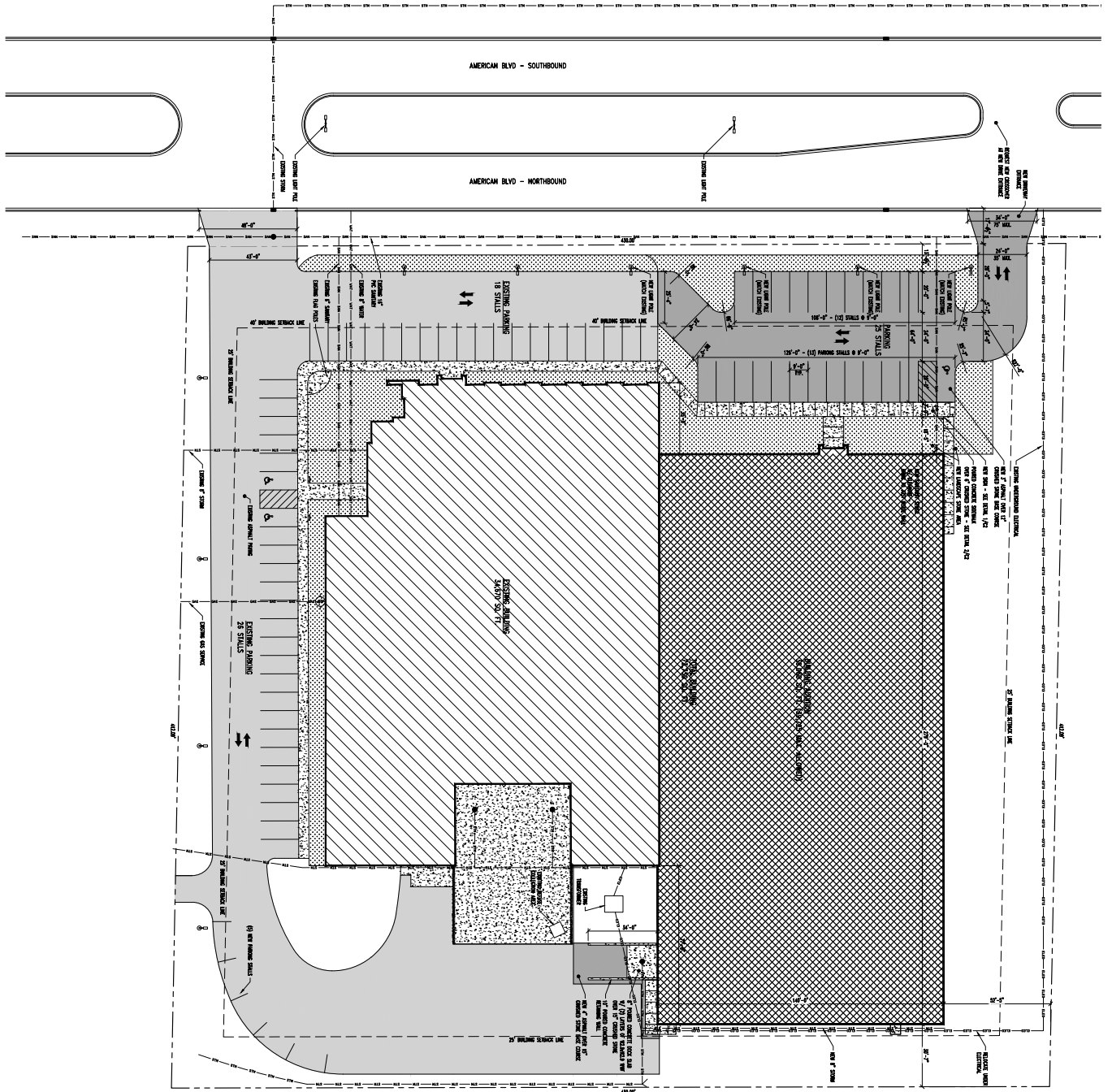


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DRAWN BY: [unreadable]
CHECKED BY: [unreadable]
DATE: [unreadable]



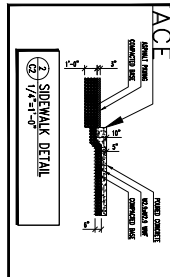
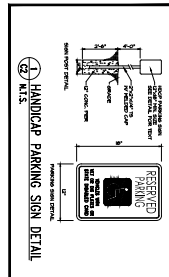
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STEEL FABRICATION

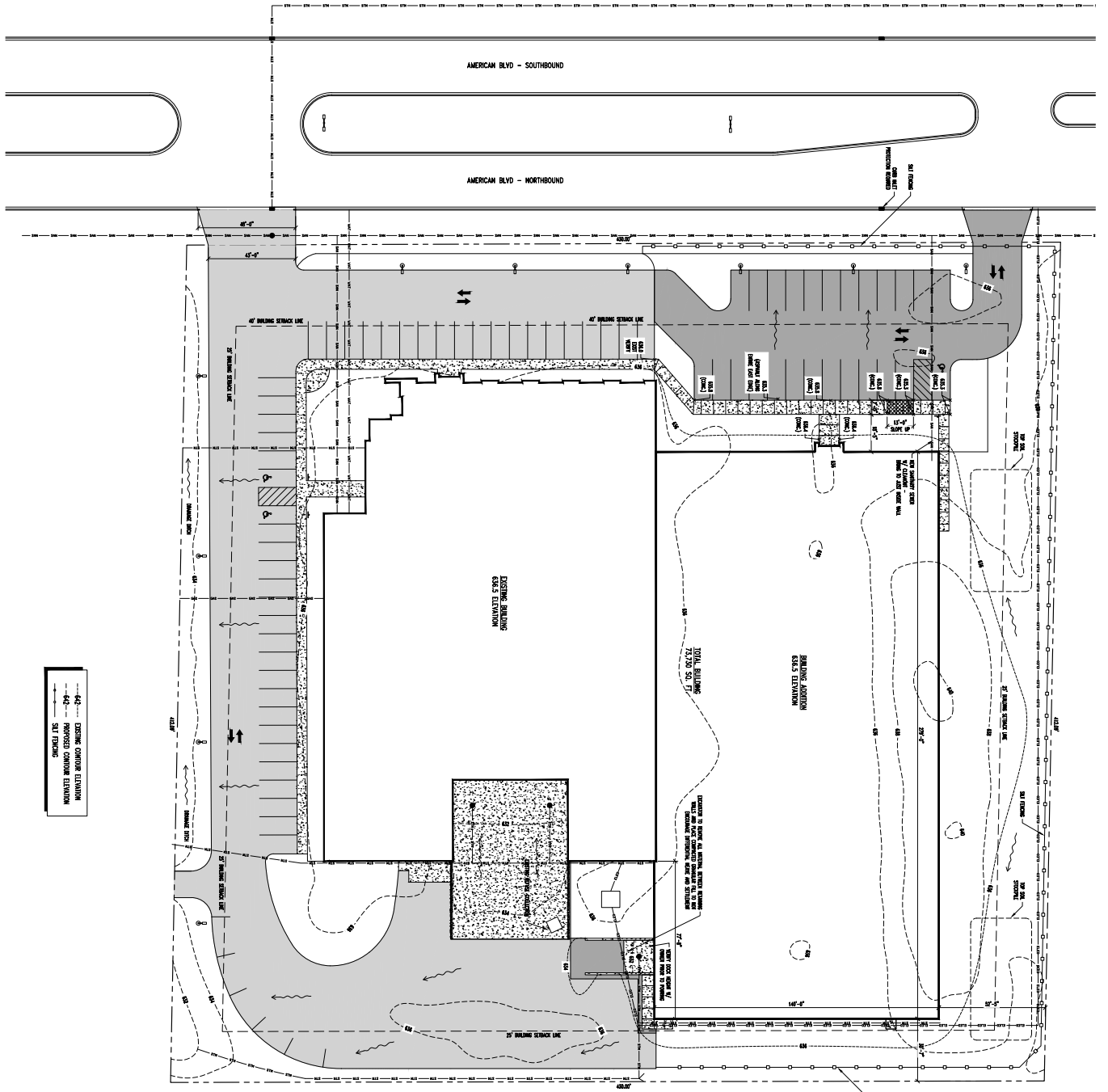
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PROPOSED SITE PLAN

LOCAL CODE / SITE REQUIREMENTS	
MINIMUM SETBACK	5'-0" FROM ALL ADJACENT PROPERTIES
MINIMUM FRONT SETBACK	10'-0" FROM FRONT PROPERTY LINE
MINIMUM SIDE SETBACK	5'-0" FROM SIDE PROPERTY LINE
MINIMUM REAR SETBACK	5'-0" FROM REAR PROPERTY LINE
MINIMUM DRIVEWAY SETBACK	5'-0" FROM DRIVEWAY PROPERTY LINE
MINIMUM SIDEWALK SETBACK	5'-0" FROM SIDEWALK PROPERTY LINE
MINIMUM PARKING SETBACK	5'-0" FROM PARKING PROPERTY LINE
MINIMUM DRIVEWAY WIDTH	10'-0" MINIMUM
MINIMUM DRIVEWAY CURVE RADIUS	20'-0" MINIMUM
MINIMUM DRIVEWAY GRADE	1% MINIMUM
MINIMUM DRIVEWAY SLOPE	1% MINIMUM
MINIMUM DRIVEWAY SURFACE	ASPHALT OR CONCRETE
MINIMUM DRIVEWAY DRAINAGE	TO STREET OR DRAINAGE SYSTEM
MINIMUM DRIVEWAY LIGHTING	AS PER LOCAL CODES
MINIMUM DRIVEWAY SIGNAGE	AS PER LOCAL CODES
MINIMUM DRIVEWAY SAFETY	AS PER LOCAL CODES
MINIMUM DRIVEWAY MAINTENANCE	AS PER LOCAL CODES





GRADING & EROSION CONTROL PLAN

---d--- EXISTING CONTOUR ELEVATION
 ---s--- PROPOSED CONTOUR ELEVATION
 ---t--- SLOPE

- EROSION CONTROL REQUIREMENTS:**
- 1) INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS SHOWN IN THE PLAN.
 - 2) MAINTAIN ALL EROSION CONTROL MEASURES THROUGH THE CONSTRUCTION PERIOD AND THROUGHOUT THE LIFE OF THE PROJECT.
 - 3) ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN TECHNICAL STANDARDS, HANDBOOK, AND WISCONSIN STATE TECHNICAL STANDARDS.
 - 4) MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD AND THROUGHOUT THE LIFE OF THE PROJECT.
 - 5) MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD AND THROUGHOUT THE LIFE OF THE PROJECT.
 - 6) MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD AND THROUGHOUT THE LIFE OF THE PROJECT.
 - 7) ALL WATER PAVED FROM THE SITE SHALL BE COLLECTED BY THE APPROPRIATE CHANNELS TO PREVENT THE EROSION OF THE SITE OR DAMAGE TO ADJACENT PROPERTIES.
 - 8) ALL WATER PAVED FROM THE SITE SHALL BE COLLECTED BY THE APPROPRIATE CHANNELS TO PREVENT THE EROSION OF THE SITE OR DAMAGE TO ADJACENT PROPERTIES.
 - 9) THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND THROUGHOUT THE LIFE OF THE PROJECT.
 - 10) THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND THROUGHOUT THE LIFE OF THE PROJECT.
 - 11) THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND THROUGHOUT THE LIFE OF THE PROJECT.
 - 12) THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND THROUGHOUT THE LIFE OF THE PROJECT.
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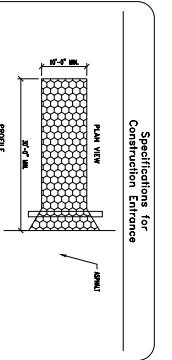
EROSION CONTROL DETAILS:

THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND THROUGHOUT THE LIFE OF THE PROJECT.

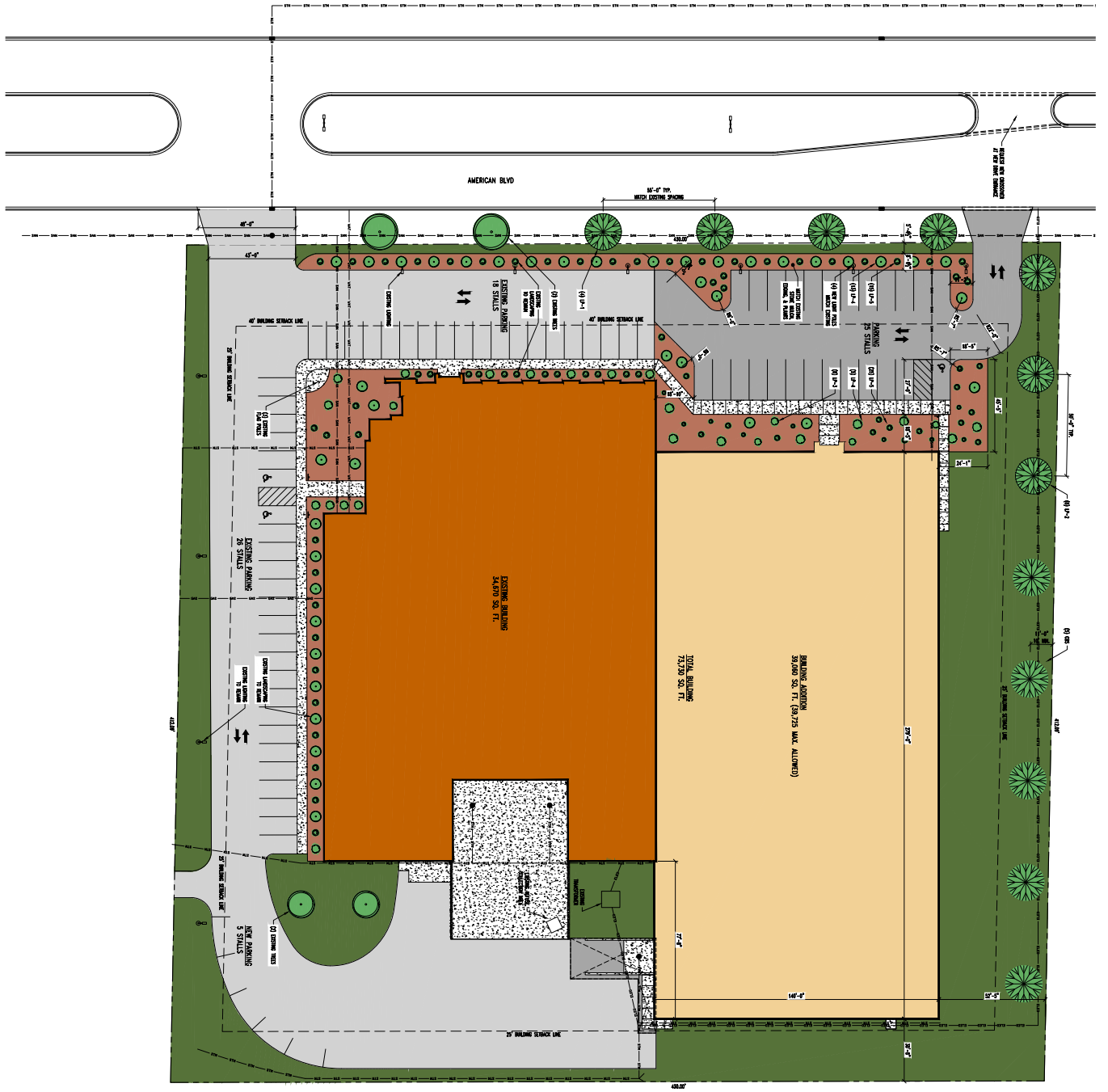
ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN TECHNICAL STANDARDS, HANDBOOK, AND WISCONSIN STATE TECHNICAL STANDARDS.

THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND THROUGHOUT THE LIFE OF THE PROJECT.

- SEQUENCE OF CONSTRUCTION:**
- A. THE FOUNDATION SHALL BE CONSTRUCTED WITH THE FOLLOWING SEQUENCE AND SCHEDULE OF WORK AND EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 - B. INSTALL SLOPE PROTECTION, SLOPE CHECK, SLOPE PROTECTION IN THE EXISTING PAVING LOT, STREET AND THROUGH PAV.
 - C. START PAVING FOR THE BUILDING AND PAVING LOT. PLACE TOPSOIL ON THE STORMWATER BASIN.
 - D. INSTALL THE STORMWATER BASIN AND SLOPE PROTECTION ON THE NEARLY INSTALLED TOPSOIL.
 - E. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND THROUGHOUT THE LIFE OF THE PROJECT.
 - F. BEGIN CONSTRUCTION OF THE BUILDING FOUNDATION AND BEGIN EROSION CONTROL MEASURES.
 - G. EXCAVATE AND PLACE MATERIAL TO BRING THE PAVING LOT TO GRADE.
 - H. SEND THE LANDSCAPING AND EROSION CONTROL MEASURES TO THE ARCHITECT FOR REVIEW AND APPROVAL.



1. The stormwater basin shall be constructed with the following materials and methods:
2. The stormwater basin shall be constructed with the following materials and methods:
3. The stormwater basin shall be constructed with the following materials and methods:
4. The stormwater basin shall be constructed with the following materials and methods:
5. The stormwater basin shall be constructed with the following materials and methods:



SITE PLAN
1:500

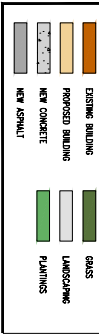
LANDSCAPE REQUIREMENTS

OPEN SPACE PROVIDED: 28.8K (GRASS AND LANDSCAPING)
 TREES REQUIRED: 1 PER 10,000 S.F. LOT AREA = 177 = 18 TOTAL TREES REQUIRED
 REDWOOD HARDWOOD TREES 50% OF 18 = 84 = 5 HARDWOOD TREES REQUIRED
 EXISTING TREES: 4

LANDSCAPE KEY

KEY TAG	COMMON NAME	SIZE	QUANTITY
P-1	STATE STREET MAHLE	1 1/2" DIA. BAB	5
P-2	REAL ELM	1 1/2" DIA. BAB	9
P-3	TICKLEBERRY	1 1/2" DIA. BAB	8
P-4	HARDY AMBER	18"	18
P-5	LITTLE PRINCESS SPINNA	18"	40

COLOR LEGEND



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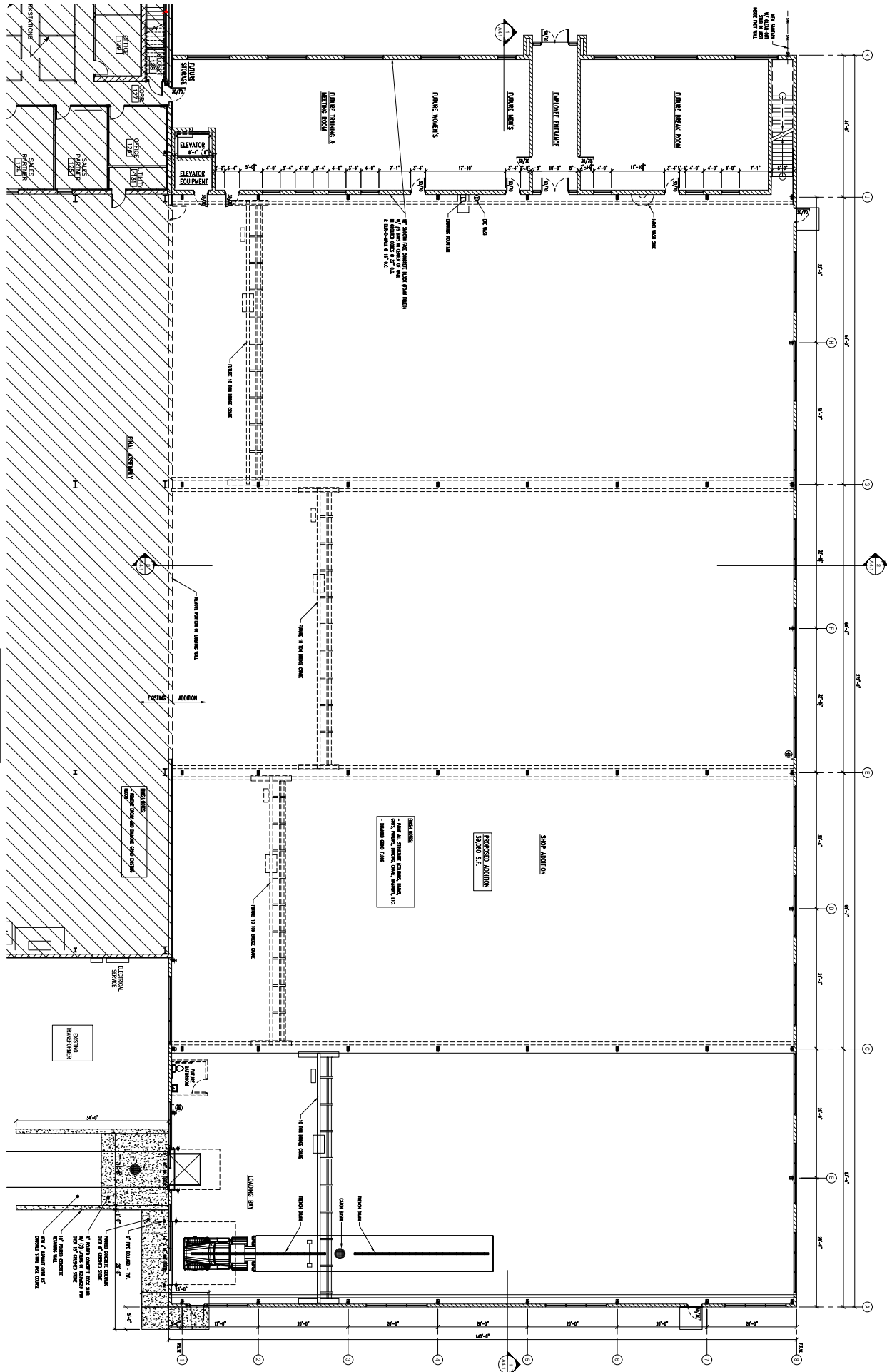
INFINITY efficiency by design

PROJECT:
**INFINITY MACHINE CORP
 BUILDING ADDITION**

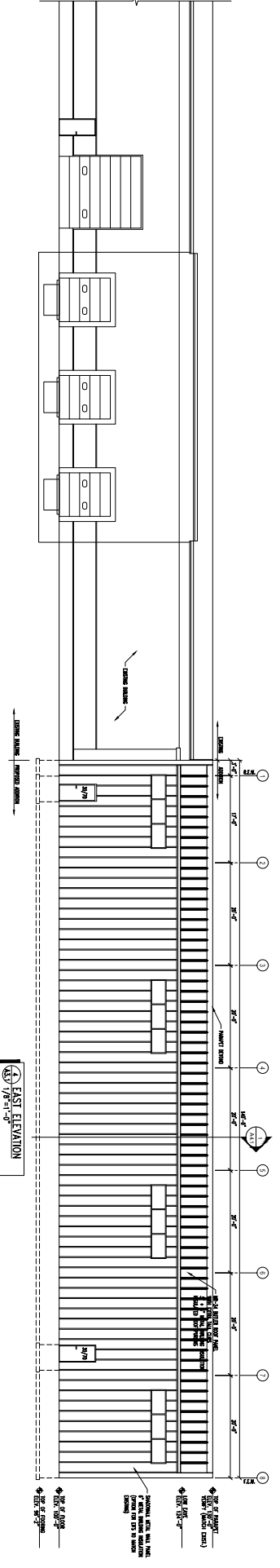
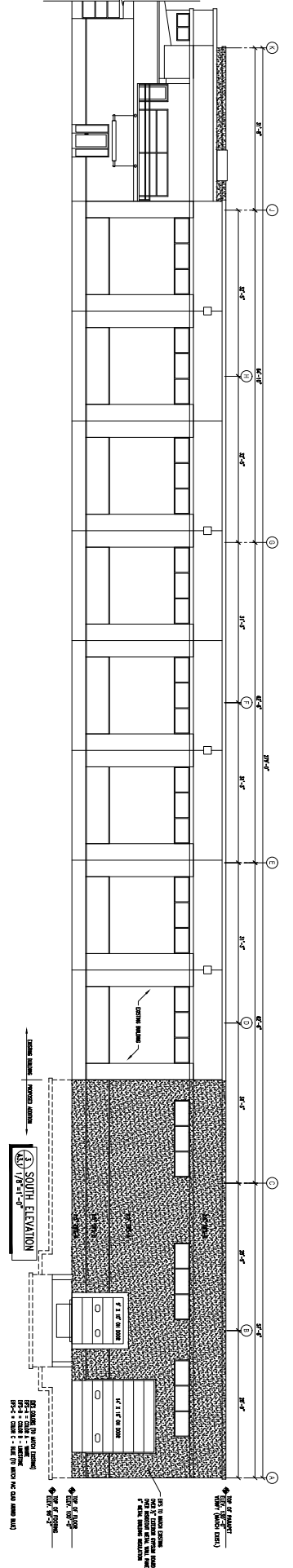
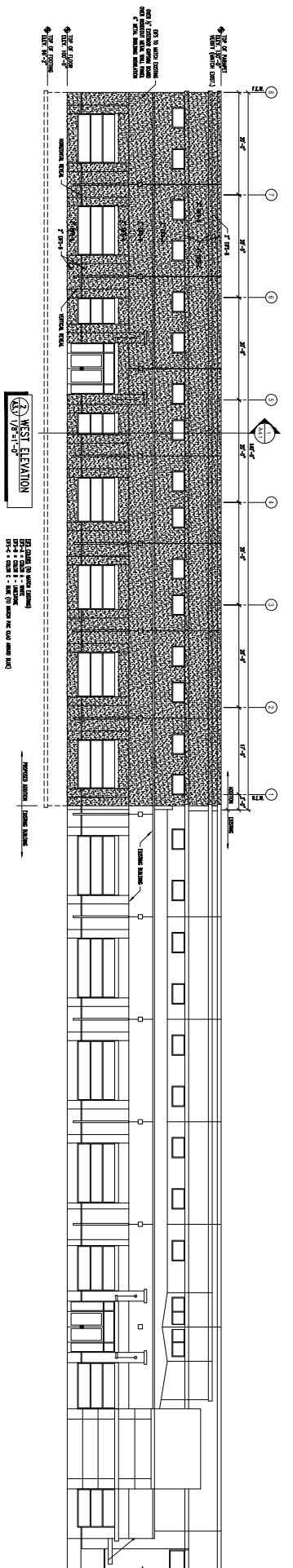
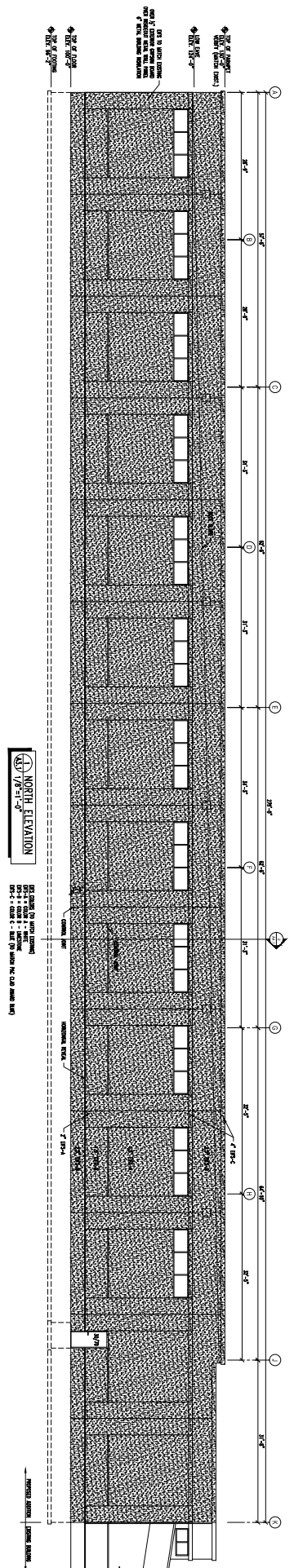
2249 AMERICAN BLVD
 DE PERE, WI 54115

PROJECT NO.:
13-327

SHEET NO.:
C3



FLOOR PLAN
1/8" = 1'-0"



DESIGN / BUILD
 GENERAL CONTRACTING
 STEEL FABRICATION

Schuh
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INFINITY *efficiency by design*

PROJECT:
**INFINITY MACHINE CORP
 BUILDING ADDITION**

2249 AMERICAN BLVD
 DE PERE, WI 54115

A3.1

PROJECT NO.:
13-327

Item #4a: Review a Precise Implementation Plan (PIP) For Walgreens Located At The Northeast Corner of Broadway And Wisconsin. Applicant: Midland Development.

Overview	
The site would be re-developed for the future location of Walgreens. The existing buildings would be removed. The new building would be 16,360 square feet.	
Public Works	
Does the project meet the City's Stormwater regulations?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Sewer properly connected?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Water properly connected?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Access properly designed (driveway and sidewalks)?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Are there any issues with easements or right-of-ways?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Are there other items that need to be addressed?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Sanitary Sewer:	
<ol style="list-style-type: none"> 1. GBMSD approval required for their facility relocation. This still needs to be approved. 2. Provide a 30 foot easement for the City sanitary sewer being relocated in alley. Based on follow-up correspondence, this does not appear to be an issue. This comment will be eliminated once updated plans are received. Completed. 3. The sewer relocation is to be designed by the developer's engineer, bid by the City, constructed by the City's contractor, and funded by the developer. Based on follow-up correspondence, the engineer will be Tony Zanon from Jahnke and Jahnke. This comment still applies. The plans as received will need to be updated for the City to bid. Specific comments for this have been marked on the plans. 4. The sewer to the south is to be bulkheaded and abandoned with sand slurry. Completed. 5. Provide the location and size of the proposed sanitary lateral. Completed. 6. If contamination is found on the site, neoprene gaskets may be required on the sanitary sewer. Now that we know the site has contamination, gasket requirements should be approved by the Wisconsin Department of Natural Resources as part of the sanitary sewer extension submittal. 7. Conflicts with other utilities will need to be addressed. It appears that the conversation has been started. Continued coordination is required. 8. The existing light pole at the proposed manhole on Broadway may need to be relocated to the north. Provide a lighting plan. 9. Relocate the new light pole on the southeast corner of the site that is located near the sanitary sewer. Provide a lighting plan. 10. GBMSD is requesting consideration into lowering the building footing to an elevation of 601 near their sanitary sewer. This item still needs to be addressed. 	
Water Main:	
<ol style="list-style-type: none"> 1. The hydrant and lead will need to be relaid due to sewer construction. This work is designed by the developer's engineer, bid by the City, constructed by the City's contractor, and funded by the developer. Completed. 2. All water services that are abandoned will need to be closed at the corporation at the water main. Completed. 3. Provide the location and size of the proposed water service. Completed. 	

Storm Sewer/Storm Water Management

1. A 42" diameter storm sewer relocation is required. The sewer relocation is to be designed by the developer's engineer, bid by the City, constructed by the City's contractor, and funded by the developer. The City may request that the sewer be upsized to a 48" diameter pipe. This will be determined during the design of the relocation. The City will pay the additional cost to upsize the storm sewer. **The pipe will remain as a 42" diameter.**
2. The soils report recommends significant undercutting of the soils for support under the 42" pipe (undercut 2 times the diameter) and a 3 foot over excavation on each side of the pipe. Based on this, a greater spacing is required between the outside edge of the pipe and the sheeting. Closure of northbound Broadway is anticipated. **The developer has indicated that they are going to perform additional soil borings. Any recommendations to address the poor soils need to be approved by a geotechnical engineer. Additionally, provide bedding recommendations from the geotechnical engineer. This comment also applies to the sanitary sewer.**
3. The smaller diameter storm sewer located near the north property will become the property of the developer. The storm sewer from the manhole behind 125 S. Broadway to Wisconsin Street will remain the City's sewer. A 30 foot easement will be required over this sewer. **As noted above, the storm sewer from the manhole behind 125 S. Broadway to Wisconsin Street will remain a City sewer. A 30 foot easement is required over this sewer.**
4. The total suspended solids (TSS) reduction from the site is to be designed for 40% removal from parking lot and roads to meet WDNR requirements.
 - a. **Revise the post construction drainage basins. The sidewalk on the south drains to City right-of-way and not the underground tank.**
 - b. **There is not enough information provided on WinSLAMM. The output sheets states the site as "Cemetery with no drainage system. The file should show the waste load generation based on roof, parking lot, green space, etc, with an area for each.**
 - c. **Provide details/documentation that the structure has adequate detention times for settling solids.**
5. The post development peak flow cannot be greater than the pre-redevelopment peak flow of the site as it exists today. **Completed.**
6. A maintenance agreement for the storm water management facility is required prior to the City issuing an occupancy permit. This agreement is to be submitted for review and approval to the City. Once the City approves the agreement, the property owner is to record the agreement with the County and provide the City with a copy of the recorded agreement. **Update the maintenance log to provide information that the owner needs to check sediment depth from the surface annually. Depth of sediment is to be documented. Provide the elevation at which the tank needs to be cleaned. Add a note that the sediment is to be properly disposed of per Wisconsin Department of Natural Resources (WDNR) requirements.**
7. Provide the location and size of the proposed storm sewer lateral. **Completed.**
8. Place a circular casting and cover on the storm manhole located in the curb line. **Completed.**

Driveways and Sidewalk:

1. All aprons are to be concrete. A minimum of an 8" concrete apron in the right-of-way and 8" thick sidewalk at the driveway is recommended. **Completed.**
2. Decorative sidewalk in the right-of-way is to be replaced in-kind. **Clarify this on the plans.**
3. Concrete panel replacement in the streets is to be done to an existing joint. All joints are to be doweled. Concrete and the base aggregate are to match the existing depths. **Show the anticipated limits.**

Other/Traffic/Vehicle Access:

1. Provide information on the truck size to be accessing the site. **Completed.**
2. Provide documentation/drawings showing the truck turning movements for the truck access to the loading dock. **Completed.**
3. Address the overhead sign support conflict with the driveway off of Broadway. **Based on truck turning movements, there may be a conflict with the sign support. If there is a conflict, the owner will be required to move the overhead sign.**
4. Coordinate utility relocations (gas, electric, telephone, etc.). **This appears to have started. Continue coordination.**
5. Light pole relocation/replacement will be required. **Provide a light plan.**
6. Clarify how the drive-thru window will operate on the north side of the building with traffic being directed westbound in the eastbound lane when utilizing the window. Is there going to be any signage or pavement marking to clarify this? **Completed.**
7. Add the street address to the plans. **Add the street address to all plan sheets.**
8. Add the soil boring locations to the plans. **Add the soil borings to the plans.**
9. **Final modifications to the curb at the roundabout will need to be approved by the City.**
10. **Verify that height of the arch in the driveway off of Broadway for clearance with semi-trucks.**

Forestry & Parks	
Does the project meet the City Landscaping Regulations?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Required Actions:	
<ol style="list-style-type: none"> All planting, mulching, and staking should be in accordance with WDNR recommendations, and current proper practices. There are guidelines included on the Landscape Plan, but they should be altered to meet the proper guidelines set by the WDNR. All plant material, and beds should have a follow-up schedule for maintenance, and replacement. It is essential that this schedule be established to ensure that the plants are maintained for health, and any compromised plants are to be replaced in a timely manner. A preservation, and protection plan for existing vegetation, and trees, including City owned trees, and shrubs, should be included in the plans when applicable. 	
Fire	
Does the project meet City Fire Codes?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Required Actions:	
<ol style="list-style-type: none"> Provide complete detailed plans for review, prior to start of construction. Provide details of use for all areas of structure. Provide details of storage quantities of flammable liquids within this structure. Provide floor plan layout for fixture placement within the space subject to review, and approval by City staff. Separation of hazards/uses may be required. Provide details defining the means of egress, including travel distances, dead-ends, arrangement, and paths. Provide exit/emergency lighting throughout the means of egress. "No smoking" signage, and floor loading signage may be required Provide fire extinguishers at maximum 75' travel distances from any point. Locate extinguishers towards the exits, when possible. Provide sprinkler system drawings for approval prior to installation of this system. System shall comply with NFPA requirements. Fire department connection is not indicated. Provide fire alarm system drawings for approval to City staff prior to installation. Install key box for fire department access. 	
Planning & Building Inspection	
Does the project meet the design regulations (exterior building elevations/materials)?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Does the project meet the City setback requirements?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Does the project meet the City parking requirements?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Does the project meet the City lighting requirements?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Is the refuse properly sited and screened?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Will the signage meet City code?	■ Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Are there other items that need to be addressed?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> NA
Required Actions:	
<ol style="list-style-type: none"> Site layout items to be addressed for the Precise Implementation Plan (PIP): <ol style="list-style-type: none"> CSM will be need to be completed the project. Completed. Easement will be required to allow City vehicle to plow City lot areas, and also to assess City storm sewer. Completed. Lighting: <ol style="list-style-type: none"> Lighting contour map is required for the PIP. Provide a light plan. Walgreens should match the lighting in the parking lot to the rest of "Mission Square". Provide a light plan. Signage: The monument sign needs to be moved away from the ROW and it should be marked on the plans that the sign face is a matching brick. 	

Recommendation:

Staff would recommend the following:

- Approve the Precise Implementation Plan and forward to Common Council.

STORE # 15637

Walgreens

S. BROADWAY ST.
& S. WISCONSIN ST.
DE PERE, WI

Precise Implementation Plan 5/28/13

PRINCIPALS

DEVELOPER
WALGREENS COMMERCIAL, INC.
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MILWAUKEE, WISCONSIN 53205
262.381.9144

TRINITY
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1000 W. WISCONSIN ST.
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ARCHITECT
THE ALBION GROUP, INC.
1000 W. WISCONSIN ST.
MILWAUKEE, WISCONSIN 53205
414.223.3330
414.223.3340

INDEX OF DRAWINGS

DATE	DESCRIPTION
07-04-13	REVISED SUBMITTAL
07-12-13	REVISED SUBMITTAL
07-25-13	REVISED SUBMITTAL
01-15-13	ALTERNATE SITE PLAN
07-22-13	ALTERNATE SITE PLAN
12-02-13	DE PERE SITE REVIEW SUBMITTAL

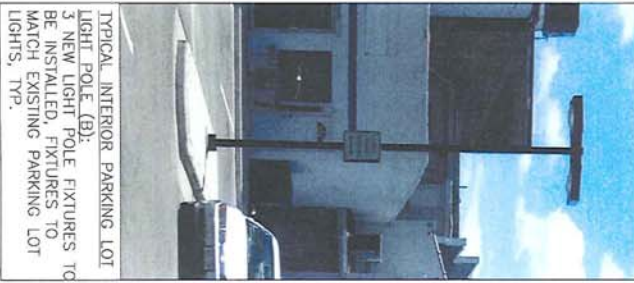
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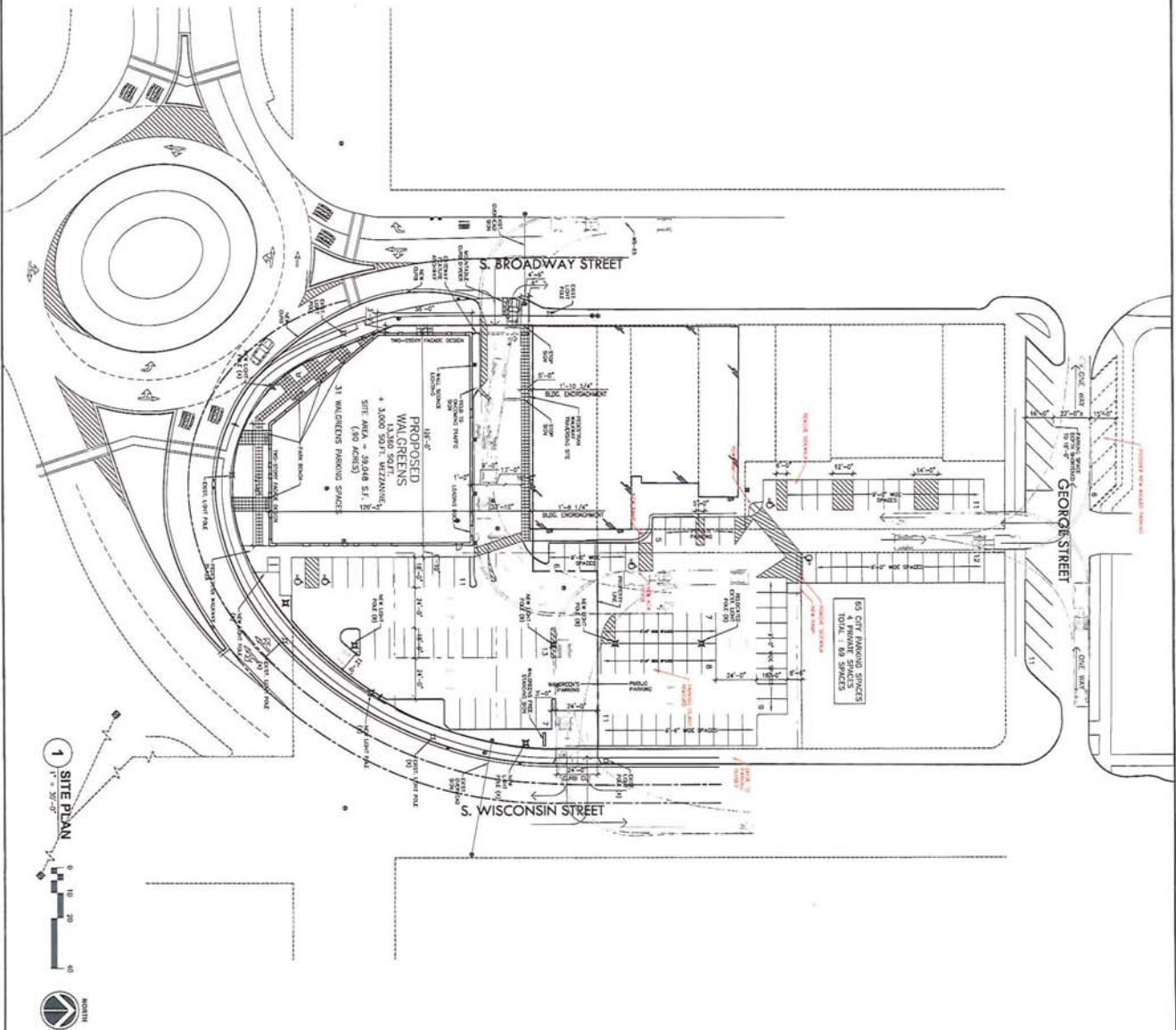
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TYPICAL STREET LIGHT POLE (A):
4 NEW LIGHT POLE FIXTURES TO
BE INSTALLED, FIXTURES TO
MATCH EXISTING CITY STREET
LIGHTS, TYP.



TYPICAL INTERIOR PARKING LOT
LIGHT POLE (B):
3 NEW LIGHT POLE FIXTURES TO
BE INSTALLED, FIXTURES TO
MATCH EXISTING PARKING LOT
LIGHTS, TYP.



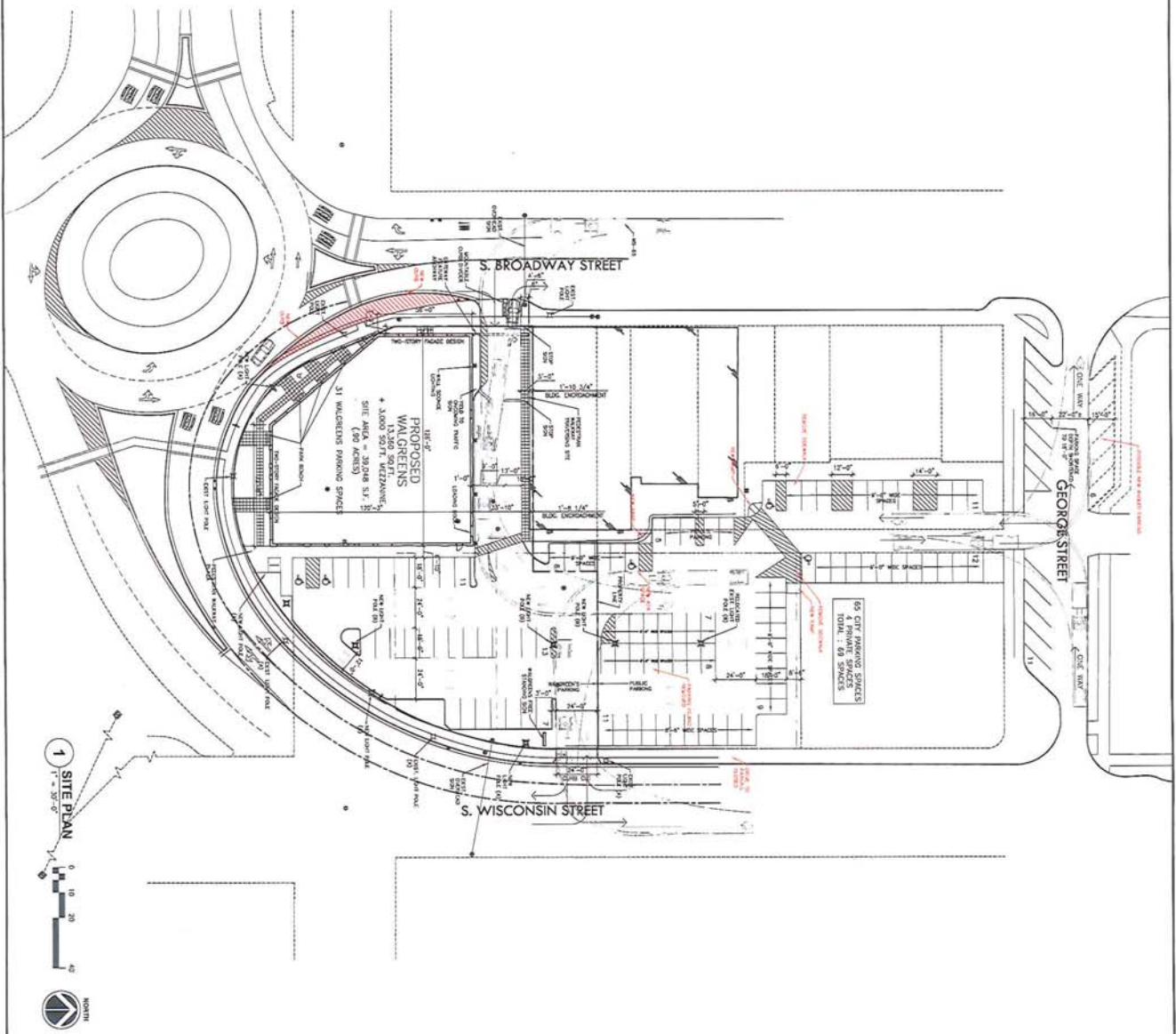
C-100	GENERAL PROJECT DATA & SITE PLAN																													
	CADD PLOT:	STORE NUMBER 15637																												
	DRAWN BY: C. MAJORS/BO	WALGREENS																												
	REVIEWED:	S. BROADWAY ST. & S. WISCONSIN ST. DE PERE, WI																												
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<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;"> <p>THE ALBION GROUP</p> <p>© THE ALBION GROUP, INC. ALL RIGHTS RESERVED</p> </div> <div style="text-align: right;"> <p>ARCHITECTS 1243 North 10th Street Suite 100 Milwaukee, WI 53205 414.223.3330 p. 414.223.3340 f. www.albionardh.com</p> </div> </div>																														



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C-100

GENERAL PROJECT DATA & SITE PLAN

CADD PLOT:

STORE NUMBER 15637

WALGREENS

S. BROADWAY ST. & S. WISCONSIN ST.

DE PERE, WI

PROJ. NO. 1203.00

NO.	DATE	BY	DESCRIPTION
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3	03.06.13	PMW	REVISED SUBMITTAL
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100	06.22.13	PMW	REVISED SUBMITTAL

THE ALBION GROUP ARCHITECTS

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Suite 100
Milwaukee, WI 53205
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414.223.3340 f.
www.albionarch.com

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WALGREENS

for

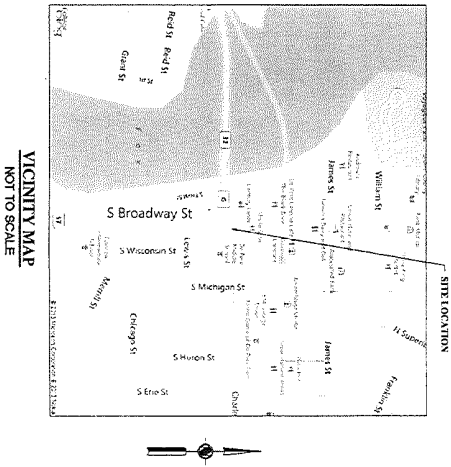
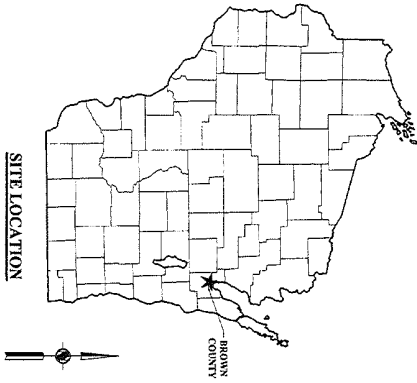
Midland Commercial Development De Pere, Wisconsin

SHEET INDEX

SHEET NO.	TITLE
C-1	REMOVAL PLAN
C-2	GRADING AND EROSION CONTROL PLAN
C-3	PAVING AND UTILITY PLAN
C-4	SANITARY SEWER PLAN & PROFILE
C-5	STORM SEWER PLAN & PROFILE
C-6	STANDARD DETAILS AND GENERAL NOTES

REVISIONS

DATE	DESCRIPTION



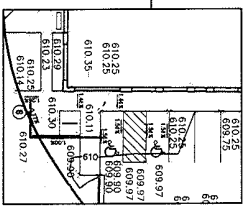
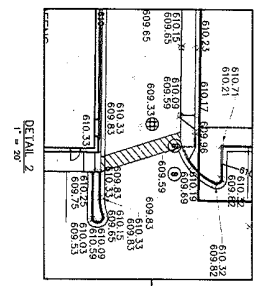
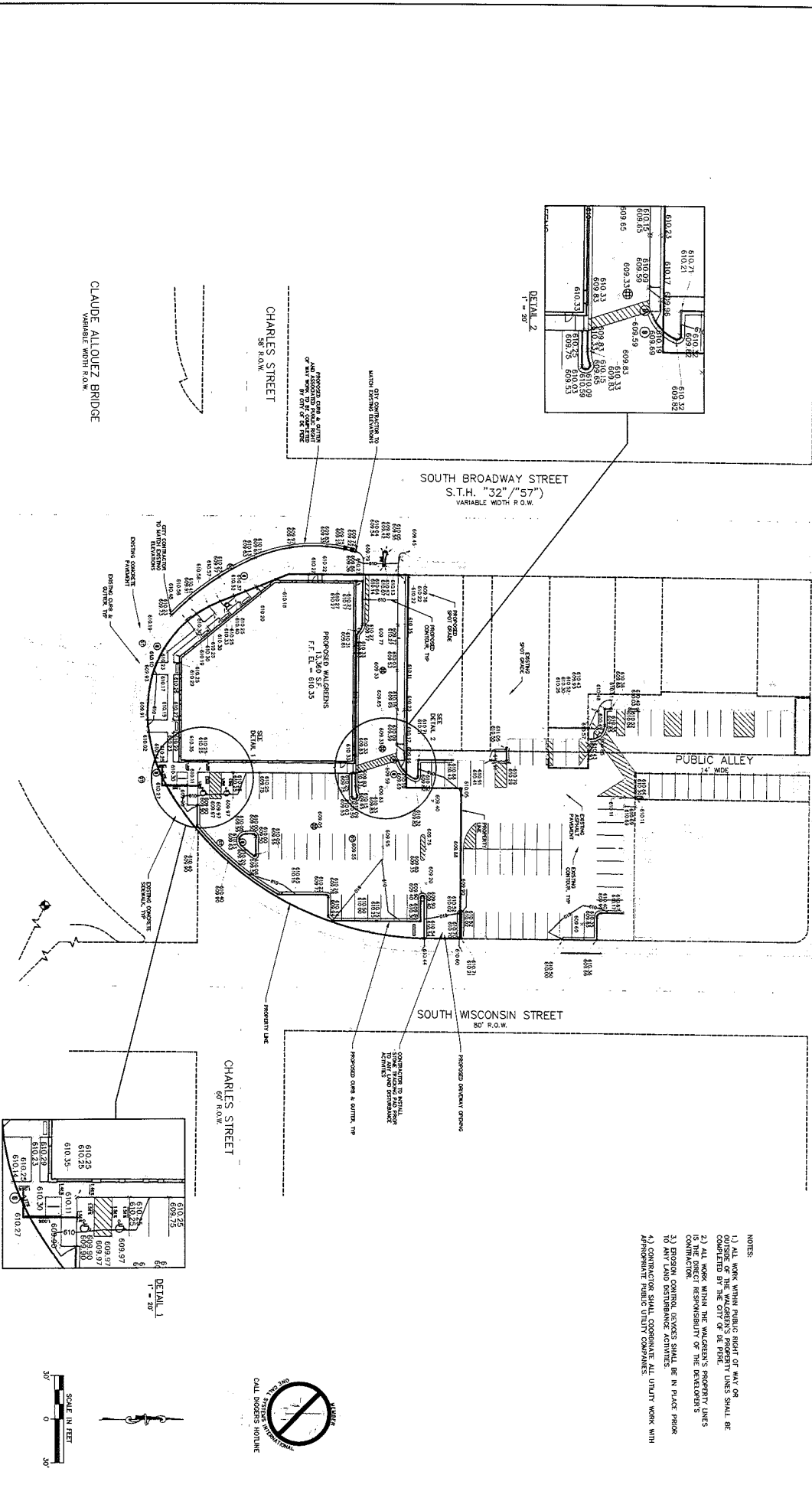
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2	REVISION	05/13/13		
3	REVISION	05/13/13		
4	REVISION	05/13/13		
5	REVISION	05/13/13		

GRADING AND EROSION CONTROL PLAN
SOUTH WISCONSIN STREET & SOUTH BROADWAY STREET
WALGREENS
DE PERE, WISCONSIN

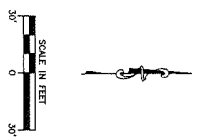
THE ENGINEER'S SIGN FOR THIS GRADING AND EROSION CONTROL PLAN IS LOCATED ON SHEET C-1. THE ENGINEER'S SIGN FOR THIS GRADING AND EROSION CONTROL PLAN IS LOCATED ON SHEET C-1. THE ENGINEER'S SIGN FOR THIS GRADING AND EROSION CONTROL PLAN IS LOCATED ON SHEET C-1.

KEY
ENGINEERING
 1100 W. WISCONSIN STREET
 DE PERE, WISCONSIN 54101
 PHONE: 920.866.1100
 FAX: 920.866.1101
 WWW.KEYENGINEERING.COM

REV PROJECT NUMBER: 2303019
 PROJECT TITLE: SOUTH WISCONSIN STREET & SOUTH BROADWAY STREET
 SHEET NUMBER: C-2



- NOTES:
- 1) ALL WORK WITHIN PUBLIC RIGHT OF WAY OR OUTSIDE OF THE WALGREENS PROPERTY LINES SHALL BE CONSIDERED BY THE CITY OF DE PERE.
 - 2) ALL WORK WITHIN THE WALGREENS PROPERTY LINES SHALL BE CONSIDERED BY THE WALGREENS CONTRACTOR.
 - 3) EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.
 - 4) CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH APPROPRIATE PUBLIC UTILITY COMPANIES.



GEORGE STREET
120' R.O.W.

GEORGE STREET
120' R.O.W.

GEORGE STREET
120' R.O.W.

CHARLES STREET
57' R.O.W.

SOUTH BROADWAY STREET
S.T.H. "32"/"57")
VARIABLE WIDTH R.O.W.

SOUTH WISCONSIN STREET
50' R.O.W.

CHARLES STREET
57' R.O.W.

CLAUDE ALLOUETZ BRIDGE
VARIABLE WIDTH R.O.W.

PUBLIC ALLEY
14' WIDE

PROPOSED CURB & GUTTER
OF 12\"/>

CONTRACTOR TO VERIFY
EXISTING UTILITIES
BY CITY OF DE PERE

CONTRACTOR TO VERIFY
EXISTING UTILITIES
BY CITY OF DE PERE

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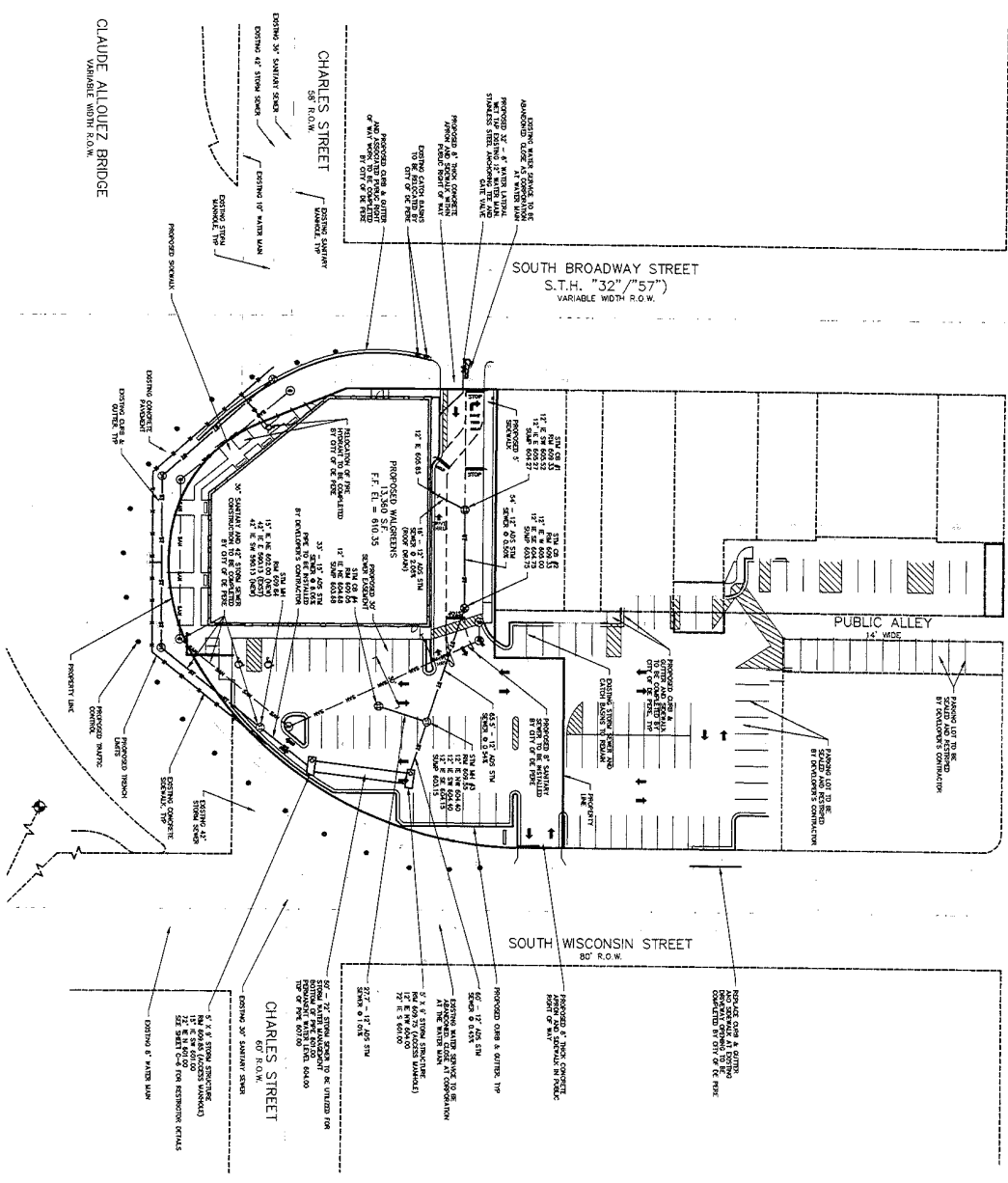
CONTRACTOR TO VERIFY
EXISTING UTILITIES
BY CITY OF DE PERE

CONTRACTOR TO VERIFY
EXISTING UTILITIES
BY CITY OF DE PERE

GEORGE STREET
120' R.O.W.

GEORGE STREET
120' R.O.W.

GEORGE STREET
120' R.O.W.



- NOTES:
- 1) ALL WORK WITHIN PUBLIC RIGHT OF WAY OR OUTSIDE OF THE WALGREEN'S PROPERTY LINES SHALL BE COMPLETED BY THE CITY OF DE PERE.
 - 2) ALL WORK WITHIN THE WALGREEN'S PROPERTY LINES SHALL BE COMPLETED BY THE CONTRACTOR'S RESPONSIBILITY.
 - 3) EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.
 - 4) CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH APPROPRIATE PUBLIC UTILITY COMPANIES.
 - 5) CONTRACTOR SHALL VERIFY ALL ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION.



NO.	REVISION	DATE	BY	REVISION BY	DATE
1	ISSUE FOR PERMITS	05/13/13	SAO		
2	ISSUE FOR PERMITS	05/13/13	SAO		

PAVING AND UTILITY PLAN
SOUTH WISCONSIN STREET & SOUTH BROADWAY STREET
WALGREENS
DE PERE, WISCONSIN

THIS REPRESENTATIVE DESIGN FOR THE CONSTRUCTION OF THE PAVING AND UTILITY WORK IS BASED UPON THE INFORMATION PROVIDED BY THE WALGREENS CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.



KEY ENGINEERING GROUP, INC.
 2303019
 1" = 30'
 SHEET NUMBER
C-3

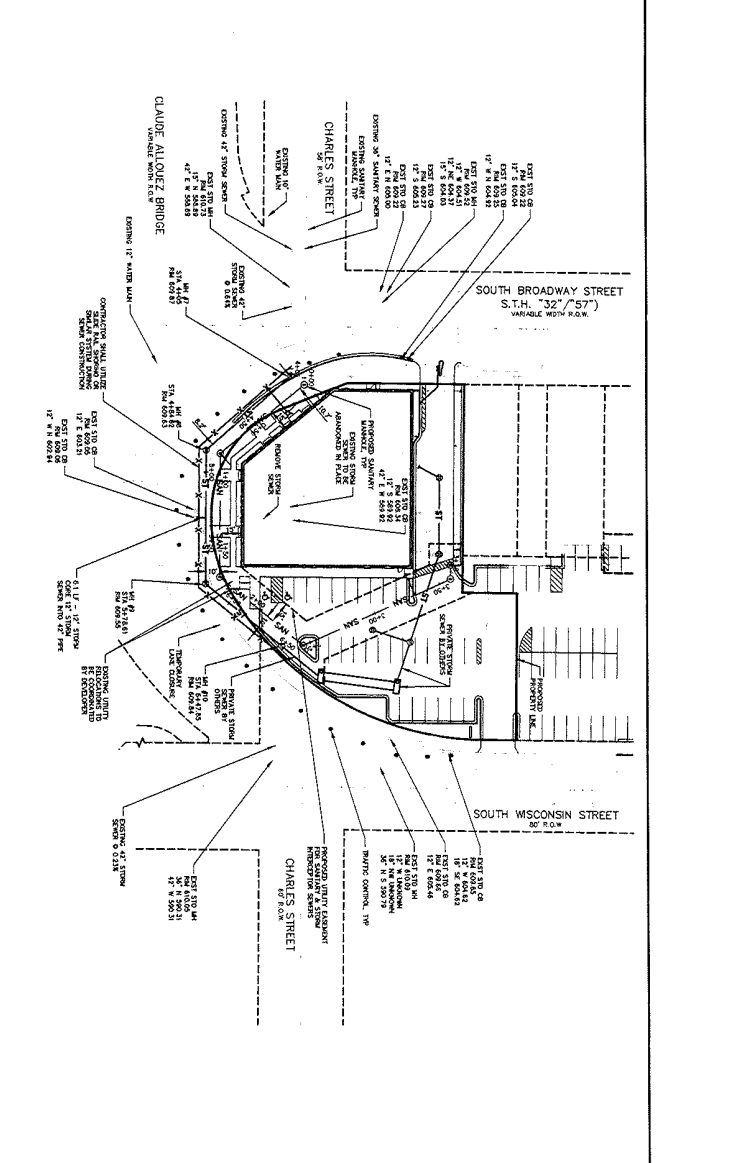
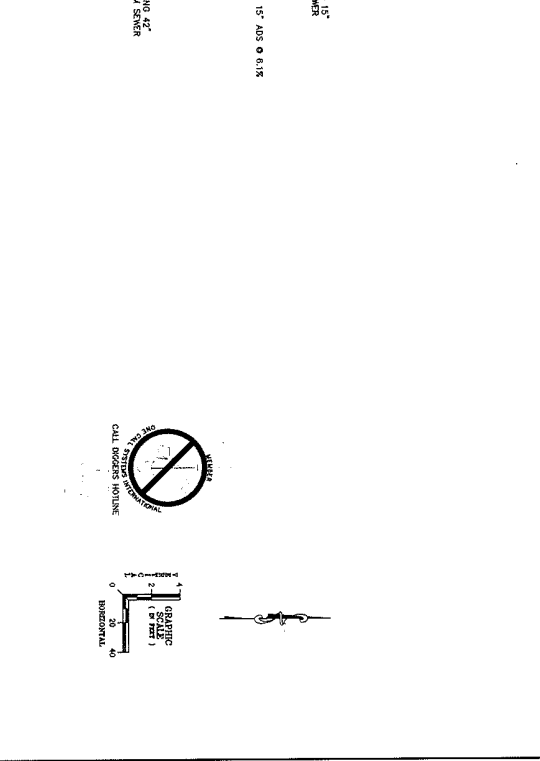
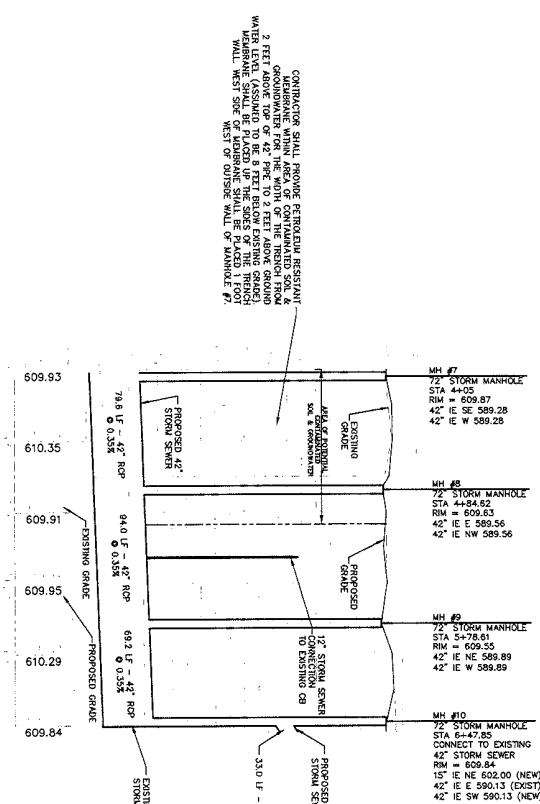
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STORM SEWER PLAN & PROFILE

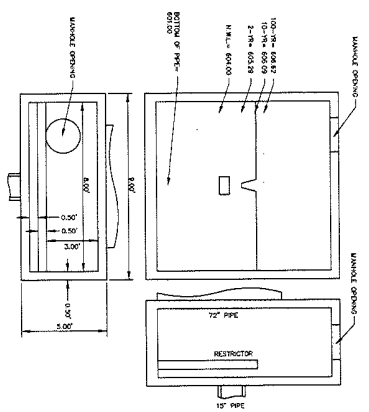
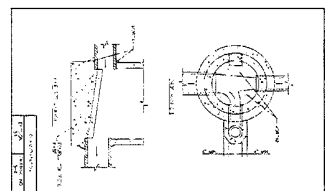
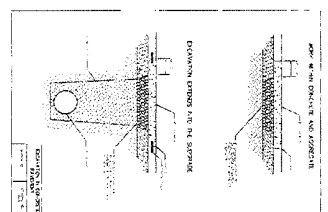
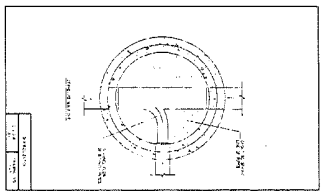
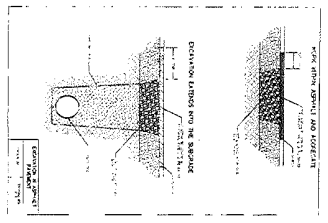
SOUTH WISCONSIN STREET & SOUTH BROADWAY STREET

WALGREENS DE PERE, WISCONSIN

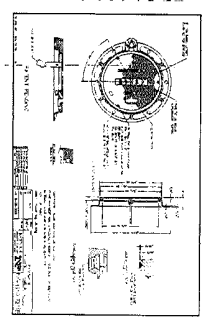
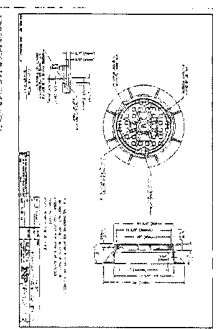
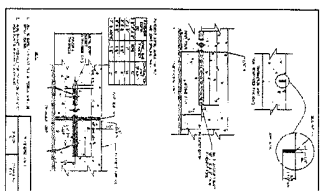
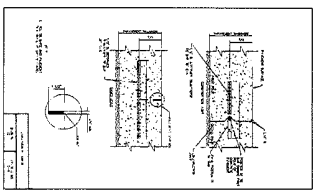
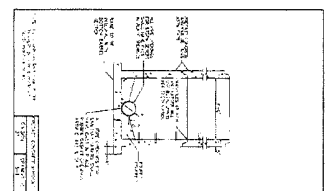
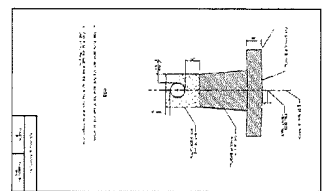
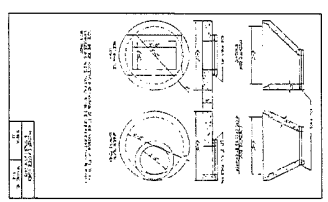
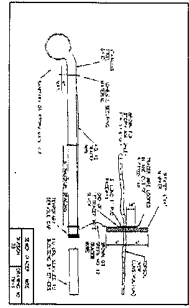
<p>THE INFORMATION SHOWN ON THIS SHEET IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.</p> <p>© 2005 The Engineering Group, Inc.</p>	<p>KEY</p> <p>ENGINEERING</p> <p>THE ENGINEERING GROUP, INC.</p>	<p>KEY PROJECT NUMBER</p> <p>2303019</p> <p>PROJECT SCALE</p> <p>1" = 20'</p> <p>SHEET NUMBER</p> <p>C-5</p>
---	---	--



- NOTES:**
- 1) ALL SEWER AND WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SEWER AND WATER MAINS, 1995 EDITION, AS AMENDED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION, 2008 EDITION, AND THE CITY OF DE PERE SPECIFICATIONS.
 - 2) ALL SEWER CONTROL DEVICES SHALL BE IN PLACE PRIOR TO BEING COVERED.
 - 3) IF AN UNEXPECTED THAT TRENCH DEPTHENING WILL BE REQUIRED DURING CONSTRUCTION.
 - 4) THERE IS SOME SOIL AND GROUNDWATER CONTAMINATION LOCATED WITHIN THE WORKING LIMITS OF THE SEWER CONSTRUCTION. THE PROPOSED DEPTH OF THE CONTAMINATED MATERIAL SHALL BE DETERMINED BY THE DEVELOPER'S UTILITY CONTRACTOR.
 - 5) ALL ADVANCED SEWERS SHALL BE BACKFILLED AND ABANDONED WITH SAND SLURRY.
 - 6) NECESSARY CHECKS MAY BE REQUIRED FOR THE SEWERS IN THE CONTAMINATED AREAS.
 - 7) THE UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR ALL WORK ASSOCIATED WITH THE RELOCATION OF THE EXISTING 30" BENCH MARK UP TO EXISTING GRADE.
 - 8) CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLAN TO CITY OF DE PERE FOR APPROVAL PRIOR TO START OF CONSTRUCTION.
 - 9) ONE LANE OF TRAFFIC MUST REMAIN OPEN AT ALL TIMES IN EACH DIRECTION UNLESS AUTHORIZED BY THE CITY OF DE PERE.
 - 10) THE UNDERLAY AND UNDERLAY DETERMINED FOR SALVAGE WILL BE RECORDED BY THE DEVELOPER'S UTILITY CONTRACTOR.
 - 11) ALL WORK ASSOCIATED WITH THE RELOCATION OF EXISTING SEWERS SHALL BE HANDLED BY THE DEVELOPER'S UTILITY CONTRACTOR.
 - 12) ALL RESTORATION IN THE PUBLIC RIGHT OF WAY WILL BE HANDLED BY THE DEVELOPER'S CONTRACTOR.



RESTRICTOR PLATE DETAIL
 UNDERGROUND STORMWATER
 MANAGEMENT SYSTEM

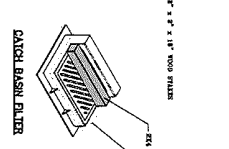
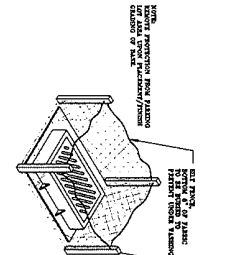
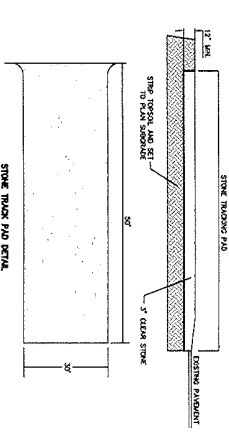
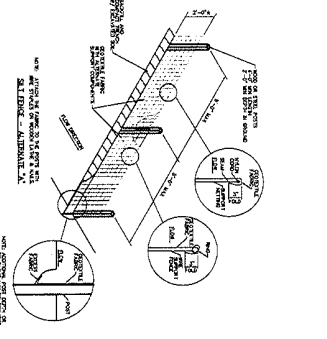
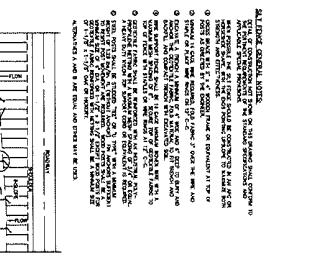
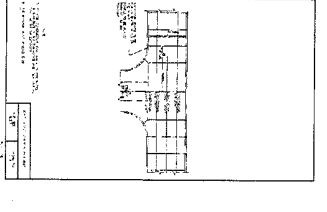
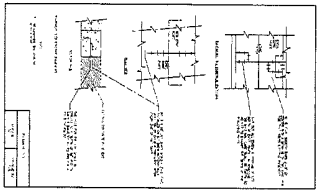
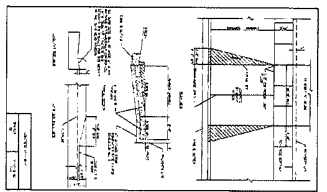
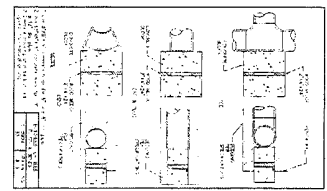
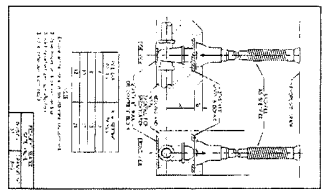
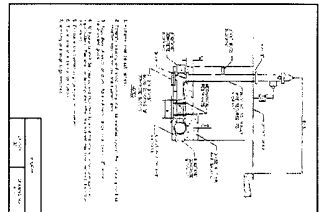
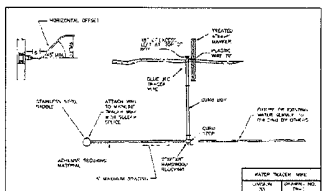
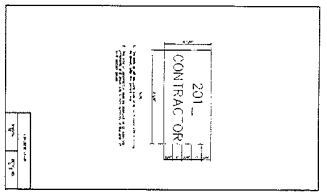


DATE	BY	RESPONSE BY	DATE
05/13/13	RCJ	05/13/13	
DATE	BY	RESPONSE BY	DATE
05/13/13	RCJ	05/13/13	
DATE	BY	RESPONSE BY	DATE
05/13/13	RCJ	05/13/13	

STANDARD DETAILS
 SOUTH WISCONSIN STREET & SOUTH BROADWAY STREET
 WALGREENS
 DE PERE, WISCONSIN

THE ENGINEERING SYSTEMS FOR THIS DRAWING HAS BEEN REVIEWED AND APPROVED AS TO BE ACCORDING TO ALL RELEVANT CODES AND REGULATIONS AS TO THE TYPE AND LOCATION OF RESTRICTOR AND DOWNFLOW GRIDS.

KEY ENGINEERING CONSULTANTS
 2303019
 PROJECT TITLE
 NOT TO SCALE
 SHEET NUMBER
 C-6



NO.	DESCRIPTION	DATE	BY	REVISION	DATE
1	ISSUED BY RCL	05/13/13			
2	DESIGNED BY RCL	05/13/13			
3	APPROVED BY SAO	05/13/13			
4	CHECKED BY SAO	05/13/13			
5	DATE				

STANDARD DETAILS AND GENERAL NOTES

SOUTH WISCONSIN STREET & SOUTH BROADWAY STREET

WALGREENS

DE PERE, WISCONSIN

The design and construction of the curbs and sidewalks shown on this plan are the responsibility of the contractor. The contractor shall be responsible for the construction of the curbs and sidewalks in accordance with the specifications and standards of the Department of Transportation and the Department of Public Works and Engineering.

KEY
ENGINEERING GROUP, LTD.
1000 W. WISCONSIN STREET
MILWAUKEE, WISCONSIN 53233

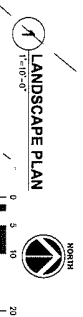
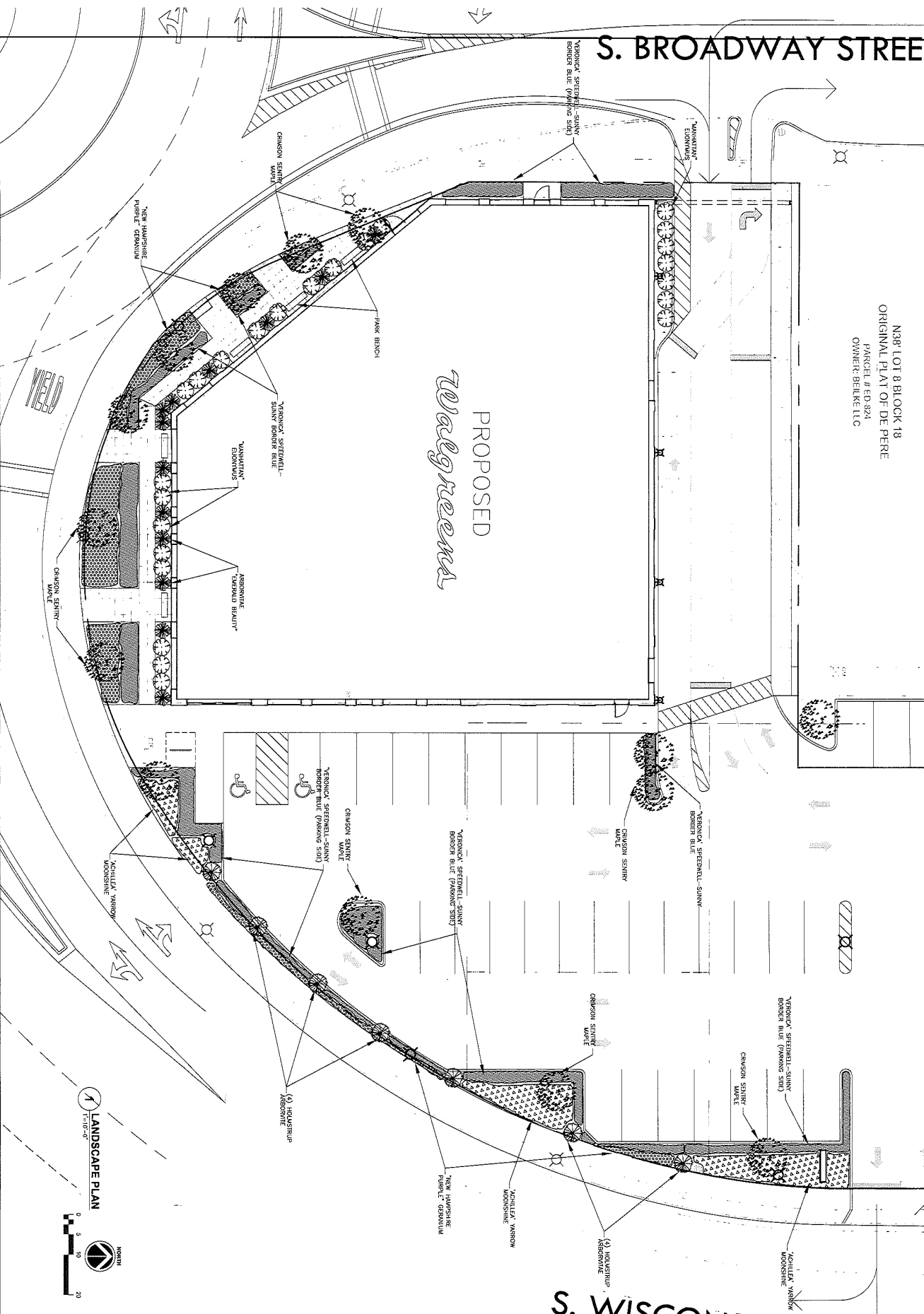
PROJECT NUMBER: 2303019
SHEET NUMBER: NOT TO SCALE
SCALE: C-7

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS:**
1. All erosion control measures shall be installed and maintained in accordance with the Department of Transportation (DOT) Standard Specifications for Highway Construction, Chapter 10, Section 10.01, and the Department of Public Works and Engineering (DPWE) Standard Specifications for Highway Construction, Chapter 10, Section 10.01.
 2. All erosion control measures shall be installed and maintained in accordance with the Department of Transportation (DOT) Standard Specifications for Highway Construction, Chapter 10, Section 10.01, and the Department of Public Works and Engineering (DPWE) Standard Specifications for Highway Construction, Chapter 10, Section 10.01.
 3. All erosion control measures shall be installed and maintained in accordance with the Department of Transportation (DOT) Standard Specifications for Highway Construction, Chapter 10, Section 10.01, and the Department of Public Works and Engineering (DPWE) Standard Specifications for Highway Construction, Chapter 10, Section 10.01.
 4. All erosion control measures shall be installed and maintained in accordance with the Department of Transportation (DOT) Standard Specifications for Highway Construction, Chapter 10, Section 10.01, and the Department of Public Works and Engineering (DPWE) Standard Specifications for Highway Construction, Chapter 10, Section 10.01.
- UTILITY NOTES:**
1. All utility lines shall be shown on the plan and shall be protected in accordance with the Department of Transportation (DOT) Standard Specifications for Highway Construction, Chapter 10, Section 10.01, and the Department of Public Works and Engineering (DPWE) Standard Specifications for Highway Construction, Chapter 10, Section 10.01.
 2. All utility lines shall be shown on the plan and shall be protected in accordance with the Department of Transportation (DOT) Standard Specifications for Highway Construction, Chapter 10, Section 10.01, and the Department of Public Works and Engineering (DPWE) Standard Specifications for Highway Construction, Chapter 10, Section 10.01.
 3. All utility lines shall be shown on the plan and shall be protected in accordance with the Department of Transportation (DOT) Standard Specifications for Highway Construction, Chapter 10, Section 10.01, and the Department of Public Works and Engineering (DPWE) Standard Specifications for Highway Construction, Chapter 10, Section 10.01.
 4. All utility lines shall be shown on the plan and shall be protected in accordance with the Department of Transportation (DOT) Standard Specifications for Highway Construction, Chapter 10, Section 10.01, and the Department of Public Works and Engineering (DPWE) Standard Specifications for Highway Construction, Chapter 10, Section 10.01.

S. BROADWAY STREET

N387 LOT 8 BLOCK 18
 ORIGINAL PLAT OF DE PERE
 PARCEL # ED-82A
 OWNER: BELKE LLC

PROPOSED
WALGREENS

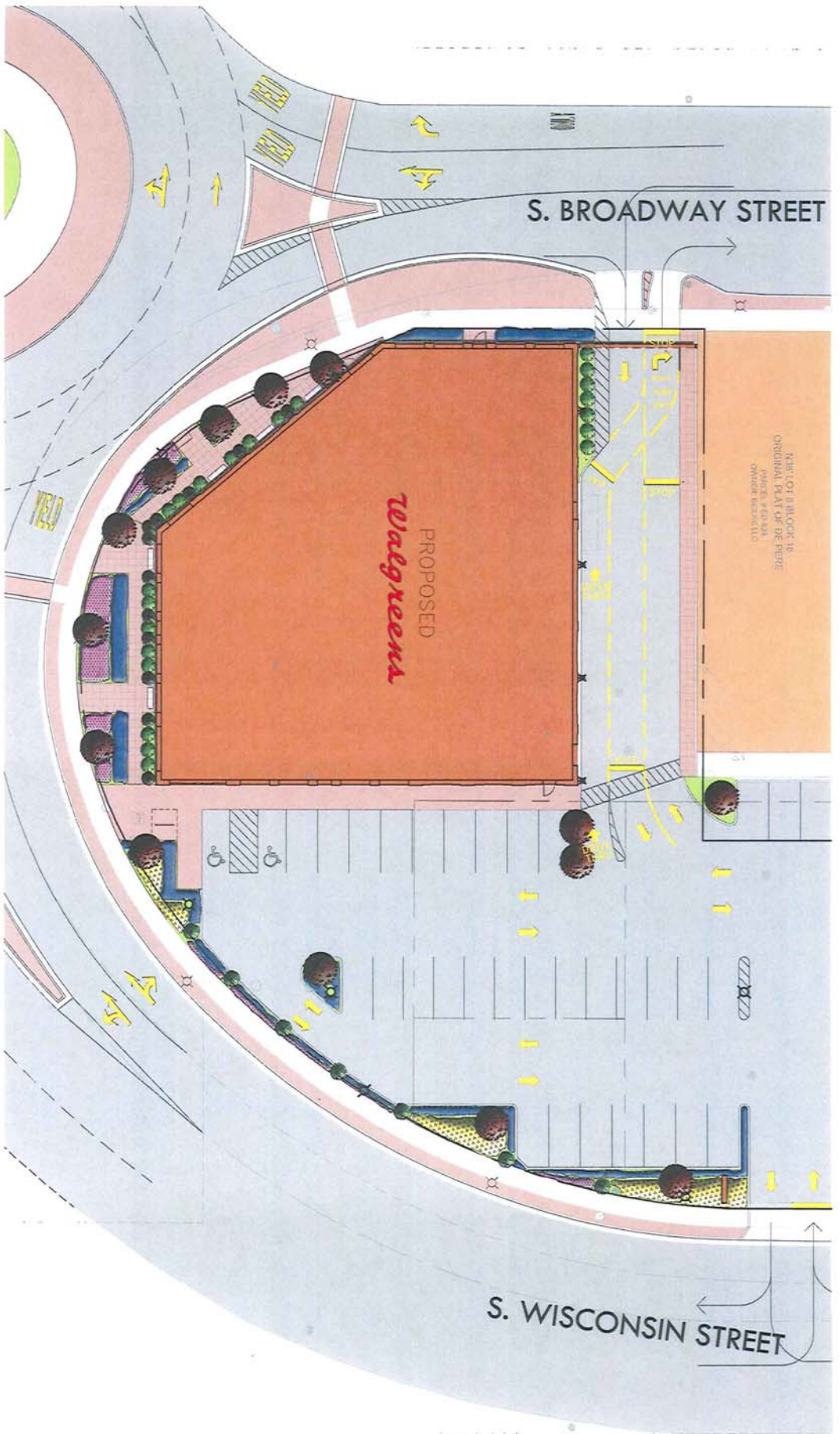


L-100
 LANDSCAPING SCHEMATIC
 CADD PLOT:
 DRAWN BY: C. MALDENBAND
 REVIEWED:
 PROJ. NO.: 1203-05

STORE NUMBER 15637
WALGREENS
 S. BROADWAY ST. & S. WISCONSIN ST.
 DE PERE, WI

NO.	DATE	BY	DESCRIPTION
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2	03-20-13	PNM	REVISED SUBMITTAL
3	03-20-13	PNM	REVISED SUBMITTAL
4	03-20-13	PNM	REVISED SUBMITTAL
5	03-20-13	PNM	REVISED SUBMITTAL
6	03-20-13	PNM	REVISED SUBMITTAL
7	03-20-13	PNM	REVISED SUBMITTAL
8	03-20-13	PNM	REVISED SUBMITTAL
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19	03-20-13	PNM	REVISED SUBMITTAL
20	03-20-13	PNM	REVISED SUBMITTAL

THE ALBION GROUP ARCHITECTS
 1243 North 10th Street Suite 100
 Milwaukee, WI 53205
 414.223.3330 p.
 414.223.3340 f.
 www.albionarch.com
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COLORLED LANDSCAPE PLAN (N.T.S.)

Walgreens

S. Broadway & S. Wisconsin St. | De Pere, WI





'CRIMSON SENTRY MAPLE



'ACHILLEA' - MOONSHINE YARROW



'VERONICA' SUNNY BORDER BLUE SPEEDWELL



EMERALD BEAUTY ARBORVITAE



'MANHATTAN' EUONYMUS



'NEW HAMPSHIRE PURPLE' GERANIUM

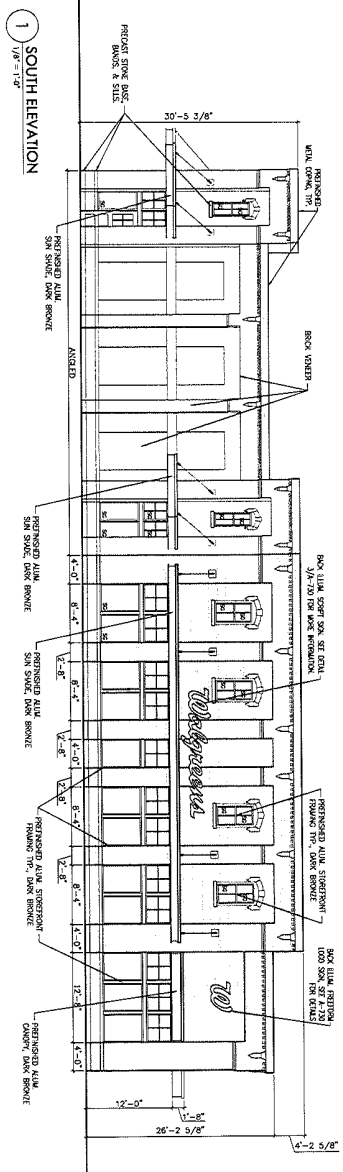


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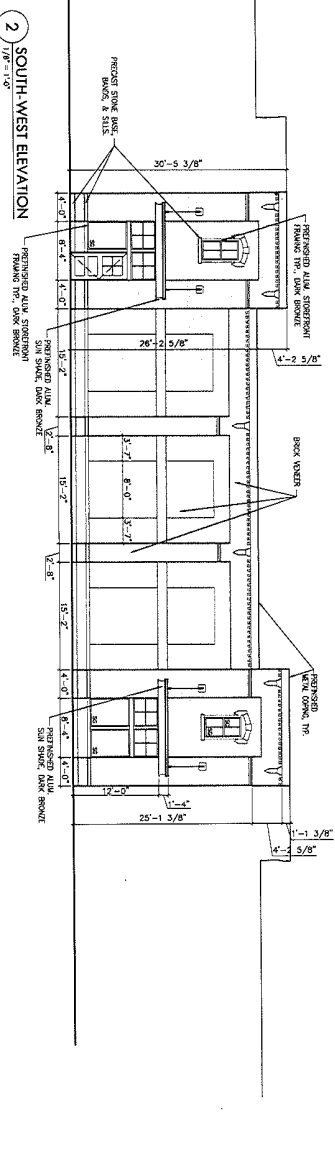
Walgreens - Landscape Plant Selections

3. Broadway St. & S. Wisconsin St. De Pere, WI

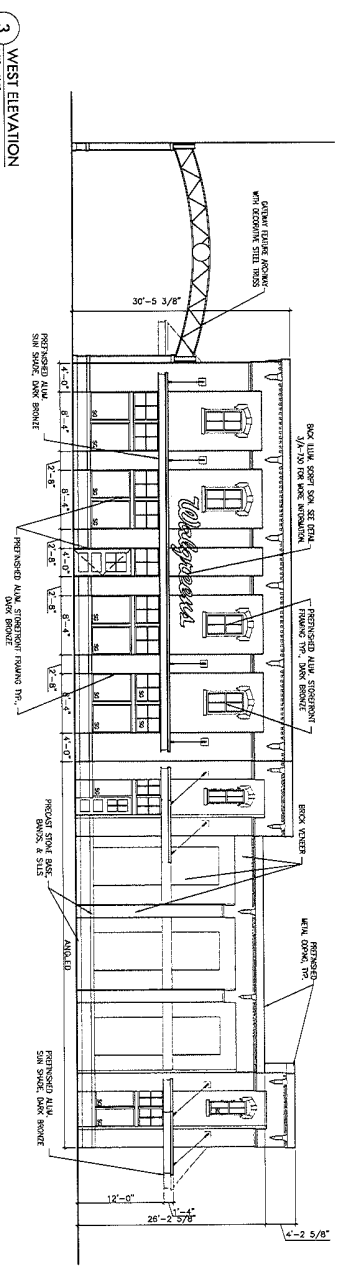




1 SOUTH ELEVATION
1/8" = 1'-0"



2 SOUTH-WEST ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"

EXTERIOR BUILDING ELEVATIONS
A-210
CADD PLOT:
DRAWN BY:
REVIEWED:
PROJ. NO. 120300

STORE NUMBER 15637
WALGREENS
S. BROADWAY ST. & S. WISCONSIN ST.
DE PERE, WI

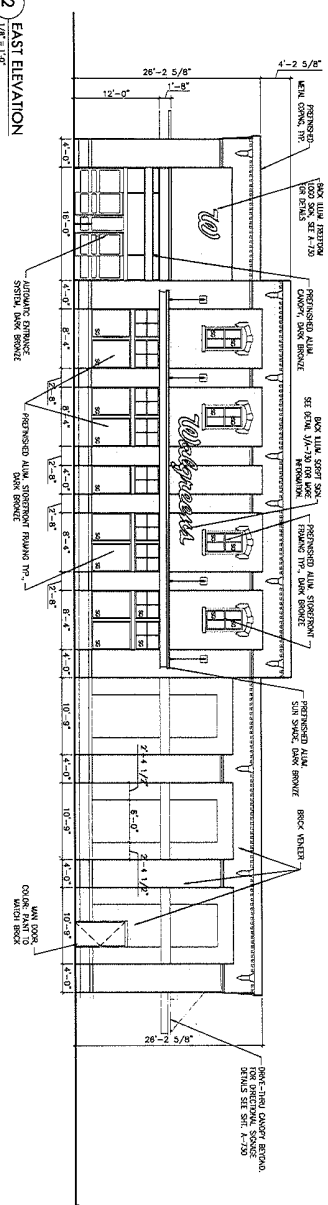
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2	02-15-13	PMW	REVISED SUBMITTAL
3	01-30-13	PMW	REVISED SUBMITTAL
4	01-16-13	PMW	ALTERED SITE PLAN
5	01-10-13	PMW	ALTERED SITE PLAN
6	12-20-12	CEM	SUBMITTAL
7	12-20-12	CEM	REVISED SUBMITTAL
8	12-20-12	CEM	REVISED SUBMITTAL



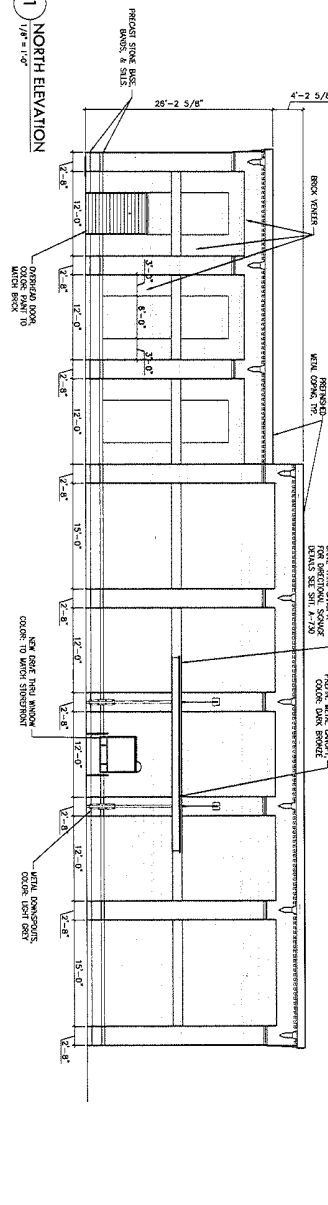
ARCHITECTS
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Suite 100
Milwaukee, WI 53205
414.223.3330 p.
414.223.3340 f.
www.albionarch.com

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2 EAST ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"



A-220

EXTERIOR BUILDING ELEVATIONS
CADD PLOT:
DRAWN BY:
S. BRADCHANDRO
REVIEWED:
PROJ. NO.: 12201-00

STORE NUMBER 15637
WALGREENS
S. BROADWAY ST. & S. WISCONSIN ST.
DE PERE, WI

NO.	DATE	BY	DESCRIPTION
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5	02-15-13	PMW	REVISED SUBMITTAL
4	01-30-13	PMW	REVISED SUBMITTAL
3	01-16-13	PMW	ALTERNATE SITE PLAN
2	01-02-13	PMW	PRELIMINARY SET PLAN
1	12-24-12	CSM	SITE REVIEW SUBMITTAL

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Milwaukee, WI 53205
414.223.3330 p.
414.223.3340 f.
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WEST - S. BROADWAY ST. ELEVATION

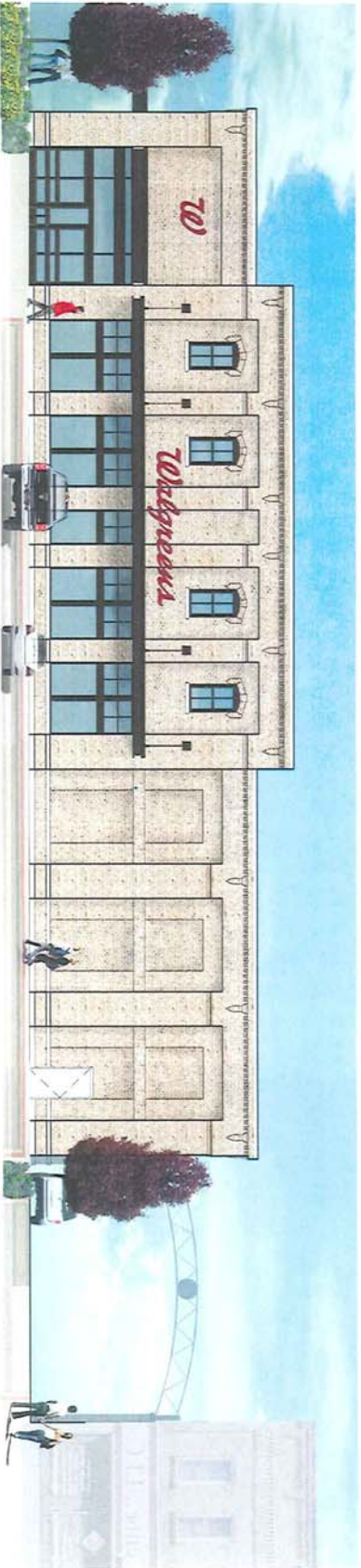


SOUTH ELEVATION

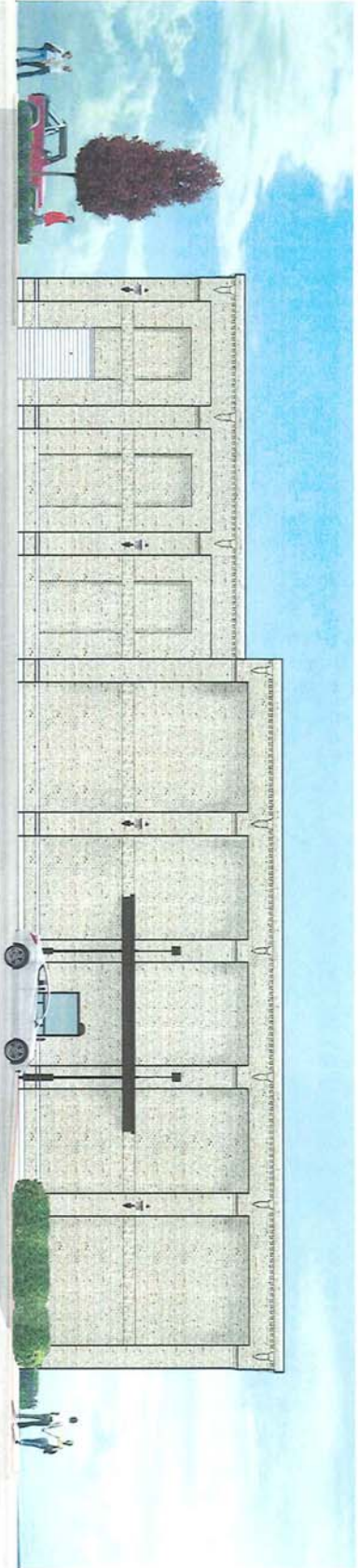
Walgreens

S. Broadway St. & S. Wisconsin St. De Pere, WI

(1 of 3)



EAST ELEVATION



NORTH ELEVATION

Walgreens
 S. Broadway St. & S. Wisconsin St. De Pere, WI
 (2 of 3)





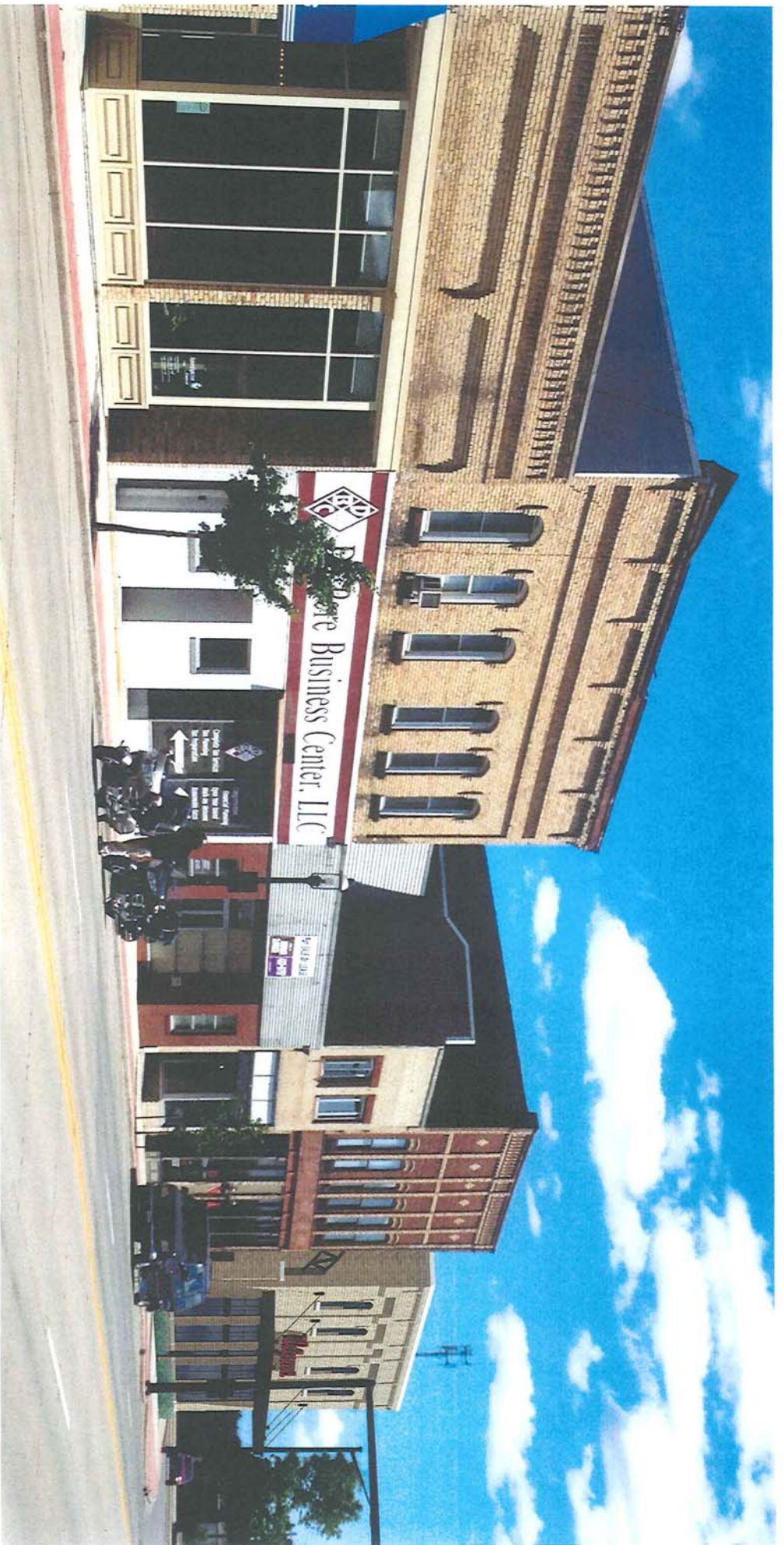
WEST - EXISTING S. BROADWAY ST. ELEVATION



WEST - PROPOSED S. BROADWAY ST. ELEVATION

Walgreens

S. Broadway St. & S. Wisconsin St. De Pere, WI
(3 of 3)



STREET PERSPECTIVE FROM NW LOOKING SE ALONG S. BROADWAY ST.

Walgreens
S. Broadway & S. Wisconsin St. | De Pere, WI





PERSPECTIVE VIEW TOWARD NE FROM WEST SIDE OF S. BROADWAY ST. & MAIN ST. ROUNDABOUT

Walgreens

S. Broadway & S. Wisconsin St. | De Pere, WI





PERSPECTIVE TO NW FROM SOUTH SIDE OF S. WISCONSIN ST.

Walgreens
S. Broadway & S. Wisconsin St. | De Pere, WI





PERSPECTIVE VIEW TOWARD SW FROM EAST SIDE OF S. WISCONSIN ST.

Walgreens

S. Broadway & S. Wisconsin St. | De Pere, WI




Item #4b: Review The CSM For The Site. Applicant: Midland Development.

Midland Development has submitted a combination CSM for the project development. The CSM creates a single lot of 0.985 acres (39,007 sq. ft.). The CSM does have the required utility easements shown on the CSM; however the CSM also needs to include the following:

1. The easement for the sewer on 125 Broadway.
2. An easement for the existing pole that supports the signage for the Wisconsin entrance to the roundabout.

Recommendation:

Staff recommends approval of the CSM with the modifications identified above, and the CSM be forwarded to the Common Council for approval. The CSM must meet all other state and local regulations.

	CITY OF DE PERE APPLICATION FOR CSM REVIEW	Fee: \$ 300.00 Receipt #: <u>82959</u> Date: <u>May 22 2013</u>
---	---	--

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: Various (Bartel, Shier, Butz, City of DePere, WI)
 Mailing Address: Various
 Phone: _____ Fax #: _____
 Email: _____

I hereby appoint the following as my agent for purposes of this application:

Agent: Name: Mark C. Lake, Midland Commercial Development Corp.
 Mailing Address: W228N745 Westmound Drive
 Phone: 262-896-3784 Fax #: 262-549-1314
 Email: mlake@midland-commercial.com

B. Property Information
 Address/Location of Property: Various (See Exhibit C & D)

Parcel #: See ALTA Survey


NOTE: Please submit 1 hard copy and 1 PDF copy of the CSM if the property is located within the City or if the property is located within the extraterritorial jurisdiction.

A CSM Review is requested as authorized by the De Pere Municipal Code, Chapter 46.

Via signed offer to purchase _____

Owner Signature

_____ Date


 Agent Signature

12/17/12
 Date

CERTIFIED SURVEY MAP NO. _____

Sheet 1 of 4

Being a redivision of Outlot 1, Outlot 2 and part of Lot 2 of Volume 54, Certified Survey Maps, Page 312, Map No. 7902; Lot 1 of Volume 14, Certified Survey Maps, Page 231, Map No. 2868; Lot Seven (7) and part of Lot Eight (8), Block Eighteen (18), Original Plat of De Pere, and vacated Charles Street and public alley
CITY OF DE PERE, BROWN COUNTY, WISCONSIN

SURVEYOR/ENGINEER:
JOHN R. STIGLER, RLS
JAHNKE & JAHNKE ASSOC., INC.
711 WEST MORELAND BLVD.
WAUKESHA, WI. 53188-2479
PHONE: (262) 542-5797

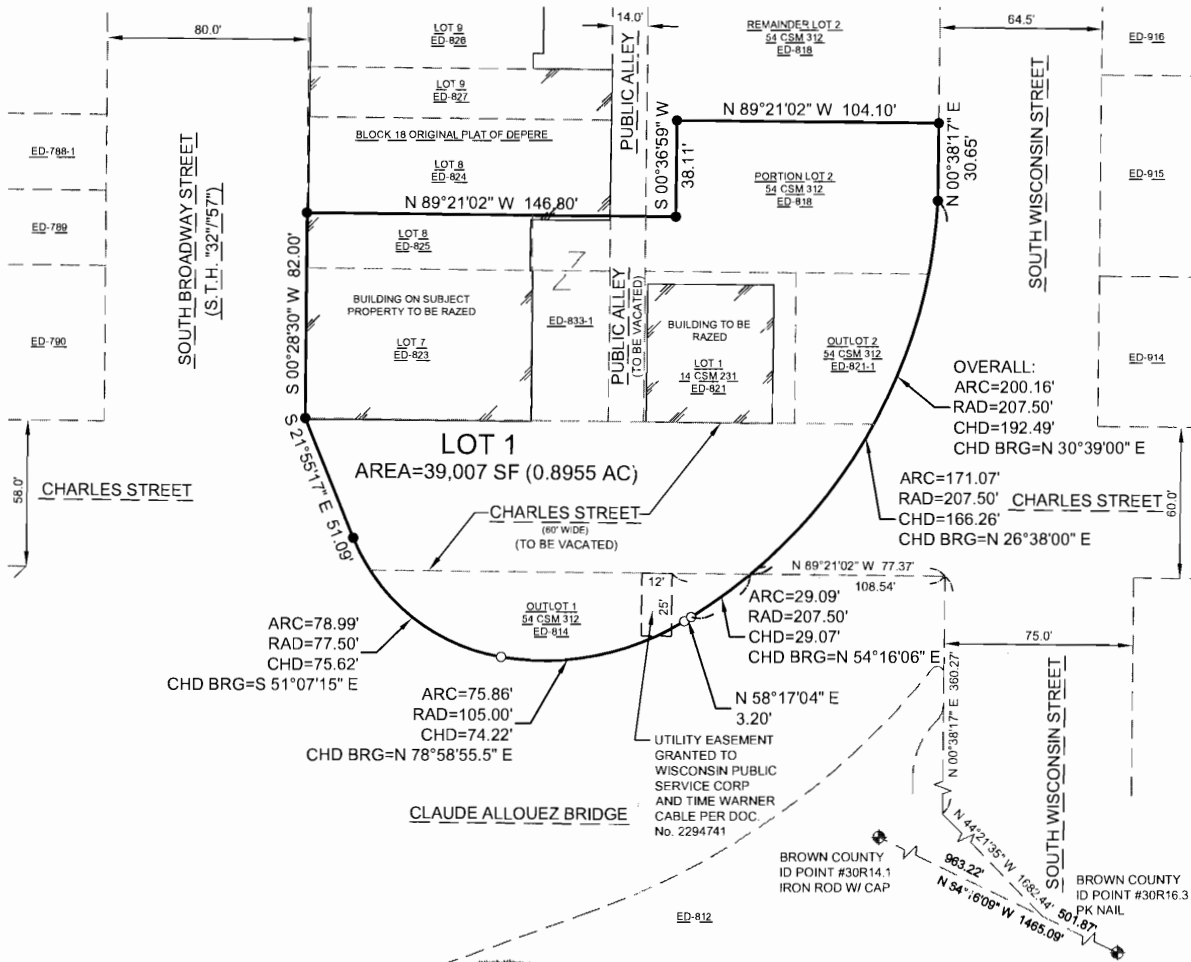
OWNER/SUBDIVIDER:
MIDLAND (WISCONSIN/BROADWAY)
ASSOCIATES, A WISCONSIN LIMITED
PARTNERSHIP
W228 N745 WESTMOUND DRIVE
WAUKESHA, WI 53186

LEGEND:
● -IRON PIPE 18" x 1" DIA. (PLACED)
1.13+ LBS. PER LIN. FT.
○ -IRON PIPE/ROD (FOUND)
⊕ -CONC. MON. (FOUND)



REFERENCE BEARING: BEARINGS ARE REFERENCED TO THE BROWN COUNTY COORDINATE SYSTEM. THE WESTERLY RIGHT OF WAY OF WISCONSIN STREET BEARS NORTH 00°38'17" EAST PER CERTIFIED SURVEY MAP No. 7902.

NOTE: SEE PROPOSED UTILITY EASEMENT ON SHEET 2.



John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S - 1820
DATED THIS 12th DAY OF December, 2012
REVISED THIS 7th DAY OF May, 2013
REVISED THIS 15th DAY OF May, 2013
INSTRUMENT DRAFTED BY JOHN R. STIGLER

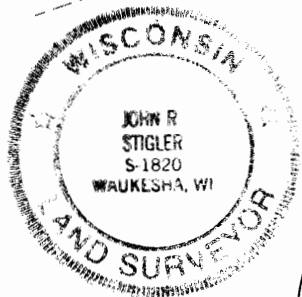
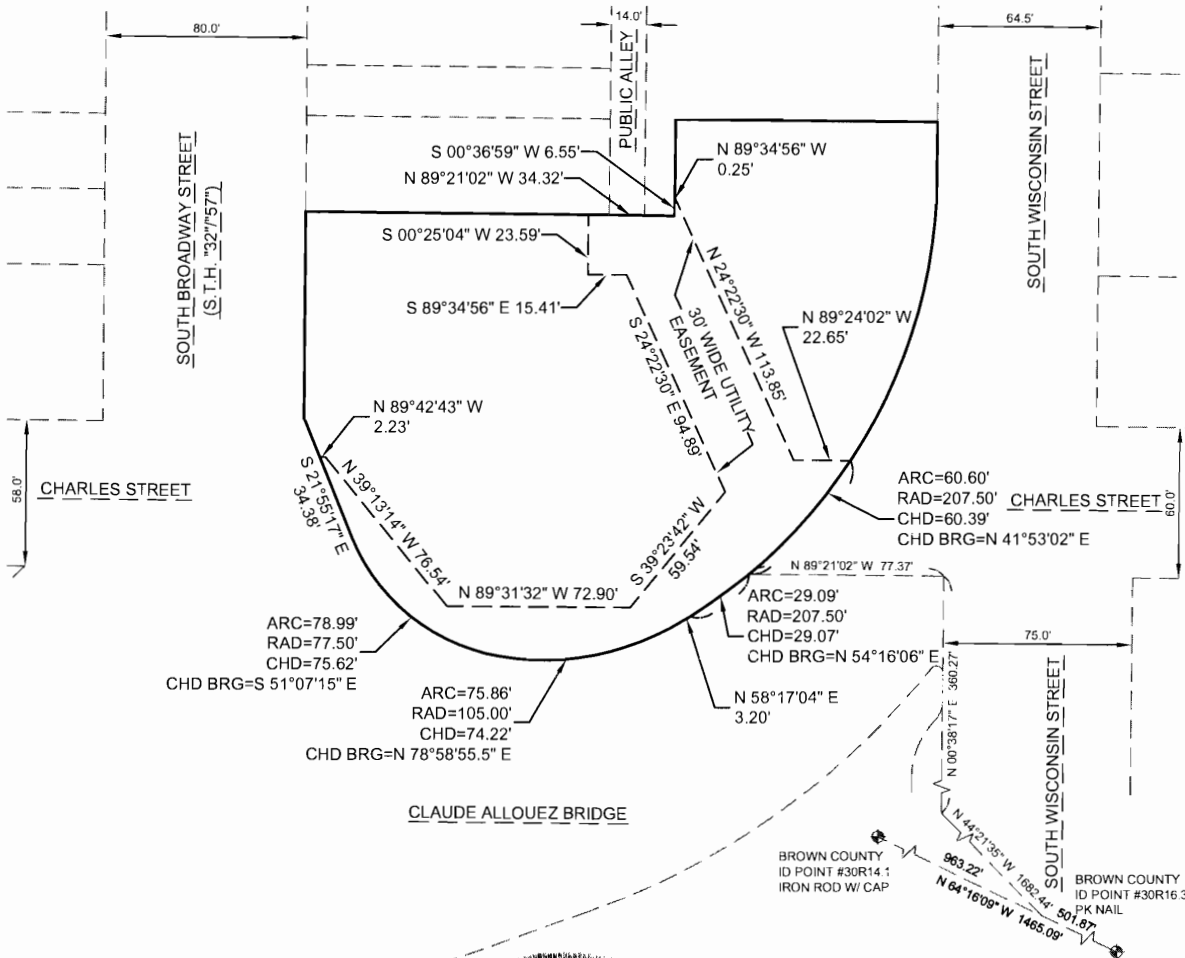
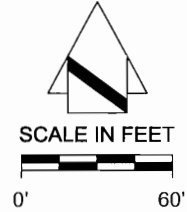
CERTIFIED SURVEY MAP NO. _____

Sheet 2 of 4

Being a redivision of Outlot 1, Outlot 2 and part of Lot 2 of Volume 54, Certified Survey Maps, Page 312, Map No. 7902; Lot 1 of Volume 14, Certified Survey Maps, Page 231, Map No. 2868; Lot Seven (7) and part of Lot Eight (8), Block Eighteen (18), Original Plat of De Pere, and vacated Charles Street and public alley
CITY OF DE PERE, BROWN COUNTY, WISCONSIN

**PROPOSED UTILITY EASEMENT
FOR THE BENEFIT OF GBMSD AND THE CITY OF DE PERE**

REFERENCE BEARING: BEARINGS ARE REFERENCED TO THE BROWN COUNTY COORDINATE SYSTEM. THE WESTERLY RIGHT OF WAY OF WISCONSIN STREET BEARS NORTH 00°38'17" EAST PER CERTIFIED SURVEY MAP No. 7902.



John R. Stigler
 JOHN R. STIGLER - Wis. Reg. No. S - 1820
 DATED THIS 12th DAY OF December, 2012
 REVISED THIS 7th DAY OF May, 2013
 REVISED THIS 15th DAY OF May, 2013
 INSTRUMENT DRAFTED BY JOHN R. STIGLER

OWNERS: MIDLAND (WISCONSIN/BROADWAY) ASSOCIATES,
 A WISCONSIN LIMITED PARTNERSHIP
 FILE NAME: S8114CSM.DWG
 P.S. MISCELLANEOUS 25

CERTIFIED SURVEY MAP NO. _____

Sheet 3 of 4

Being a redivision of Outlot 1, Outlot 2 and part of Lot 2 of Volume 54, Certified Survey Maps, Page 312, Map No. 7902; Lot 1 of Volume 14, Certified Survey Maps, Page 231, Map No. 2868; Lot Seven (7) and part of Lot Eight (8), Block Eighteen (18), Original Plat of De Pere, and vacated Charles Street and public alley
CITY OF DE PERE, BROWN COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, John R. Stigler, registered land surveyor, being duly sworn on oath, hereby depose and say that I have surveyed, divided and mapped the following land bounded and described as follows:

Being a redivision of Outlot One (1), Outlot Two (2) and part of Lot Two (2) of Volume 54, Certified Survey Maps, Page 312, Map Number 7902; Lot One (1) of Volume 14, Certified Survey Maps, Page 231, Map Number 2868; Lot Seven (7) and part of Lot Eight (8), Block Eighteen (18), Original Plat of De Pere, and vacated Charles Street and public alley, all being in the City of De Pere, Brown County, Wisconsin more particularly bounded and described as follows: Commencing at Brown County ID Point #30R16.3; thence North 64°16'09" West 501.87 feet along the line that connects said ID Point #30R16.3 to Brown County ID Point #30R14.1; thence North 44°21'35" West 1682.44 feet; thence North 00°38'17" East 360.27 feet; thence North 89°21'02" West 77.37 feet to the northeast corner of said Outlot 1, Certified Survey Map Number 7902 and the place of beginning of the land hereinafter to be described; thence northeasterly 171.07 feet along the arc of a curve, radius of 207.50 feet, center lies to the west, chord bears North 26°38'00" East, 166.26 feet; thence North 00°38'17" East 30.65 feet; thence North 89°21'02" West 104.10 feet; thence South 00°36'59" West 38.11 feet; thence North 89°21'02" West 146.80 feet; thence South 00°28'30" West 82.00 feet; thence South 21°55'17" East 51.09 feet; thence southeasterly 78.99 feet along the arc of a curve, center lies to the northeast, chord bears South 51°07'15" East 75.62 feet; thence easterly 75.86 feet along the arc of a curve, center lies to the north, chord bears North 78°58'55.5" East 74.22 feet; thence North 58°17'04" East 3.20 feet; thence northeasterly 29.09 feet along the arc of a curve, radius of 207.50 feet, center lies to the northwest, chord bears North 54°16'06" East 29.07 feet to the place of beginning. Containing 39,007 square feet (0.8955 acres) of land.

I further certify that I have made such survey, land division and map by the direction of the owners of said land; that such map is a correct representation of the exterior boundaries of the land surveyed and map thereof made; and that I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes pertaining to Certified Survey Maps (Section 236.34) and the regulations of the City of De Pere in surveying, dividing and mapping the same.

John R. Stigler

JOHN R. STIGLER – Wis. Reg. No. S-1820

Revised this 7th day of May, 2013

Revised this 15th day of May, 2013

STATE OF WISCONSIN)ss
WAUKESHA COUNTY)

The above certificate subscribed and sworn to me this 12th day of December, 2012.

My commission expires July 21, 2013.

Anthony S. Zanon

ANTHONY S. ZANON – NOTARY PUBLIC



OWNERS: MIDLAND (WISCONSIN/BROADWAY) ASSOCIATES,
A WISCONSIN LIMITED PARTNERSHIP

CERTIFIED SURVEY MAP NO. _____

Sheet 4 of 4

Being a redivision of Outlot 1, Outlot 2 and part of Lot 2 of Volume 54, Certified Survey Maps, Page 312, Map No. 7902; Lot 1 of Volume 14, Certified Survey Maps, Page 231, Map No. 2868; Lot Seven (7) and part of Lot Eight (8), Block Eighteen (18), Original Plat of De Pere, and vacated Charles Street and public alley
CITY OF DE PERE, BROWN COUNTY, WISCONSIN

CORPORATE OWNER'S CERTIFICATE:

MIDLAND (WISCONSIN/BROADWAY) ASSOCIATES, a Wisconsin Limited Partnership, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said partnership caused the land described on this map to be surveyed, divided and mapped as represented on this map. We also certify that this Certified Survey Map is required to be submitted to the following for approval: City of De Pere

IN WITNESS WHEREOF, the said MIDLAND (WISCONSIN/BROADWAY) ASSOCIATES, a Wisconsin Limited Partnership has caused these presents to be signed by STEVEN J. ROLFE, PRESIDENT, of MIDLAND (WISCONSIN/BROADWAY), Inc., its General Partner and its Corporate Seal to be hereunto affixed this _____ day of _____, 2013.

MIDLAND (WISCONSIN/BROADWAY) ASSOCIATES,
a Wisconsin Limited Partnership
By: MIDLAND (WISCONSIN/BROADWAY), Inc., its
General Partner

STEVEN J. ROLFE, PRESIDENT

STATE OF WISCONSIN)ss
WAUKESHA COUNTY)

Personally came before me this _____ day of _____, 2013, the above named STEVEN J. ROLFE to me known to be the PRESIDENT of MIDLAND (WISCONSIN/BROADWAY), Inc., and the person who executed the foregoing instrument and acknowledged the same.

My commission expires _____

NOTARY PUBLIC -

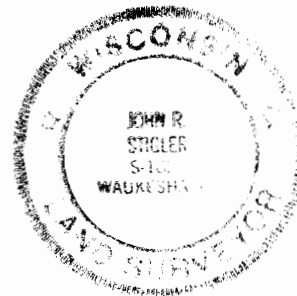
CITY BOARD APPROVAL CERTIFICATE:

Approved by the City of De Pere this _____ day of _____, 2013.

SHANA L. DEFNET - CLERK/TREASURER

John R. Stigler

JOHN R. STIGLER - Wis. Reg. No. S-1820
Dated this 12th day of December, 2012
Revised this 7th day of May, 2013
Revised this 15th day of May, 2013



OWNERS: MIDLAND (WISCONSIN/BROADWAY) ASSOCIATES,
A WISCONSIN LIMITED PARTNERSHIP

Instrument drafted by John R. Stigler

P. S. MISCELLANEOUS 25

Item #5a: Review A 2 Lot CSM Located On The Southeast Corner of Scheuring Road, And Matthew Drive. Surveyor: Steve Bieda.

Steve Bieda has submitted a two-lot CSM request for the southeast corner of Scheuring Road, and Matthew Drive. A site plan was approved for Lot 2 in January by the Plan Commission. The project has not started since financing is not available unless the mortgage can be tied to a single lot. With the lot created, the development can proceed, and the long term plan is to combine the development with the Scheuring Road Business Centre Condominiums development directly to the east.

Lot 1 is 2.73 acres, and lot 2 is .75 acres. The minimum lot size in I-B-2 is 1 acre so lot 2 requires a variance from the Plan Commission to be approved. Given the intent of the project which is to combine the development with the existing office complex, City staff feels the variance should be supported. Since the process to combine the condominium development can drag on, City staff is requesting that the CSM shows an access easement from the Scheuring Road Business Centre Condominiums.

Recommendation:

Staff would recommend approval of the CSM with the modification identified above, and the CSM be forwarded to the Common Council for approval. The CSM must meet all other state and local regulations.



CITY OF DE PERE
APPLICATION FOR
CSM REVIEW

Fee: \$ 300.00

Receipt #: _____

Date: _____

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: EDS Associates LLC

Mailing Address: 1703 W. Matthew Drive De Pere, WI 54115

Phone: _____ Fax #: _____

E-Mail Address: _____

Signature: _____ Date: _____

I hereby appoint the following as my agent for purposes of this application:

Agent:

Name: Steven M. Bieda

Mailing Address: 400 Security Blvd Green Bay, WI 54313

Phone: 434-9670 Fax #: 434-9672

E-Mail Address: sbieda@mau-associates.com

Signature: _____ Date: _____

B. Property Information

Address/Location of Property: Lot 1, Volume 55, CSM, Pg. 128, being part of Lots 30 & 31, De Pere Business Park

Parcel #: WD-364-D-531

NOTE: Please submit thirteen (13) copies of the CSM if property is located within the City or two (2) copies of the CSM if the property is located within the extraterritorial jurisdiction.

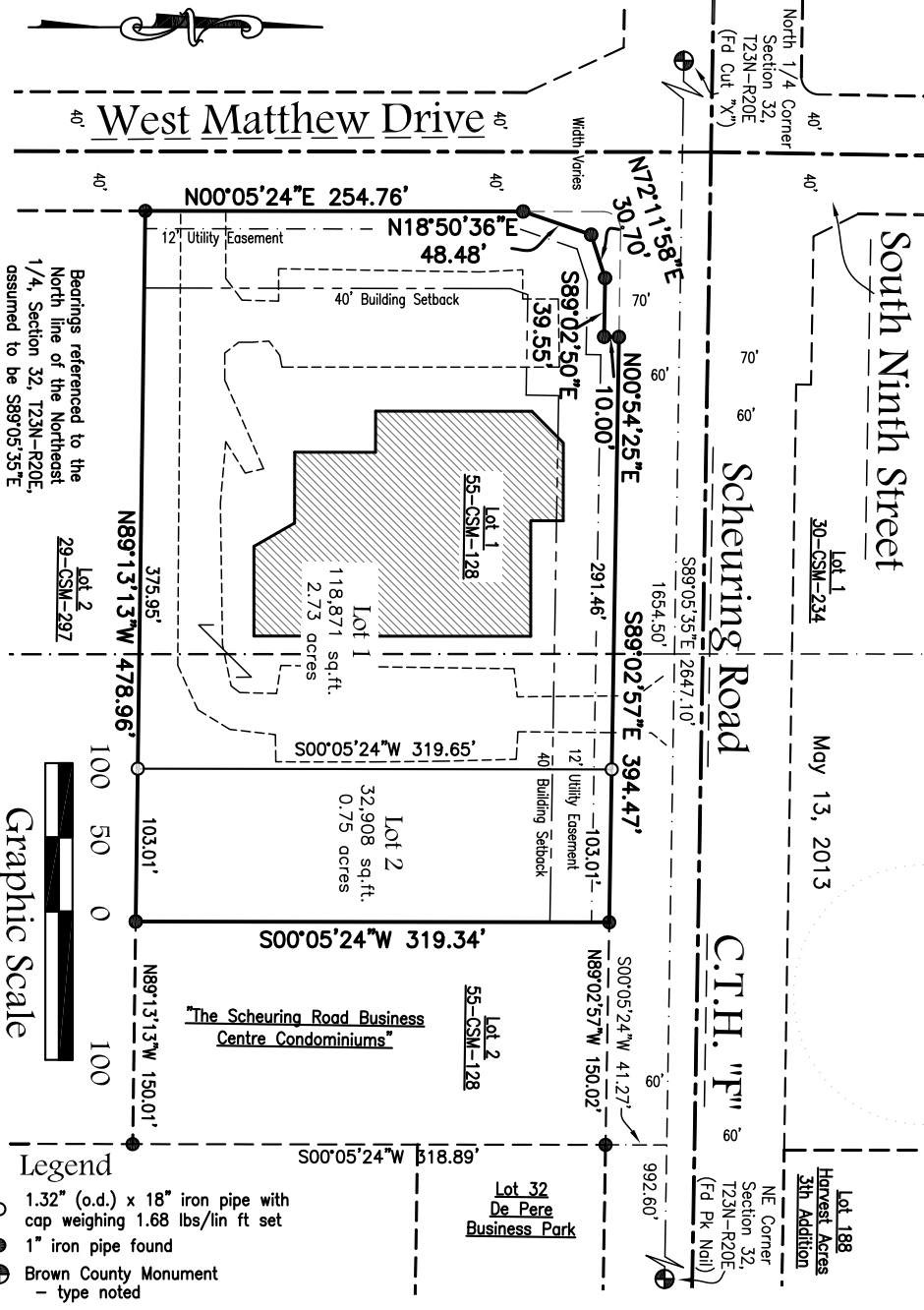
A CSM Review is requested as authorized by the De Pere Municipal Code, Chapter 46.

Signed: *Joe Perrigo*
Applicant/Agent

Dated: 5-13-13

Certified Survey Map

All of Lot 1, Volume 55, Certified Survey Maps, Page 128, Map No. 7964, Doc. No. 2447369, being part of Lot 1, Volume 29, Certified Survey Maps, Page 297, Map No. 4612, Doc. No. 1366210, all Brown County Records, being part of Lots 30 and 31, De Pere Business Park, located in the North 1/2 of the Northeast 1/4, Section 32, T23N-R20E, City of De Pere, Brown County, Wisconsin



SURVEYOR'S CERTIFICATE

I, Steven M. Bieda, Registered Land Surveyor, S-2275, do hereby certify that I have surveyed, divided and mapped all of Lot 1, Volume 55, Certified Survey Maps, Page 128, Map No. 7964, Doc. No. 2447369, being part of Lot 1, Volume 29, Certified Survey Maps, Page 297, Map No. 4612, Doc. No. 1366210, all Brown County Records, being part of Lots 30 and 31, De Pere Business Park, located in the North 1/2 of the Northeast 1/4, Section 32, T23N-R20E, City of De Pere, Brown County, Wisconsin, more fully described as follows:

Commencing at the North 1/4 Corner, Section 32, T23N-R20E; thence S89°05'35"E, 1654.50 feet along the North line of the Northeast 1/4, said Section; thence S00°05'24"W, 41.27 feet to the Northeast Corner of Lot 2, Volume 55, Certified Survey Maps, Page 128, Map No. 7964, Document No. 2447369, Brown County Records; thence N89°02'57"W, 150.02 feet along the North line of said Lot 2, to the Northeast Corner of Lot 1, Volume 55, Certified Survey Maps, Page 128, Map No. 7964, Doc. No. 2447369, Brown County Records and the point of beginning; ; thence S00°05'24"W, 319.34 feet along the East line of said Lot 1; thence N89°13'13"W, 478.96 feet along the South line of said Lot 1; thence N00°05'24"E, 254.76 feet along a West line of said Lot 1; thence N18°50'36"E, 48.48 feet along a West line of said Lot 1; thence N72°11'58"E, 30.70 feet along a West line of said Lot 1; thence S89°02'50"E, 39.55 feet along a North line of said Lot 1; thence N00°54'25"E, 10.00 feet along a West line of said Lot 1; thence S89°02'57"E, 394.47 feet along a North line of said Lot 1 to the point of beginning.

Parcel contains 151,779 square feet/ 3.48 acres more or less.
Parcel subject to any easements and restrictions of record.

That such plat is a correct representation of all the exterior boundaries of the land survey and the division thereof. That I have made such a survey, land division and plat by the direction of the owners listed hereon. That I have fully complied with the provisions of Chapter 236, section 236.34 of the Wisconsin Statutes, the City of De Pere, and the Brown County Planning Commission in surveying, dividing and mapping the same.



May 13, 2013

CERTIFICATE FOR THE CITY OF DE PERE

Approved for the City of DePere this _____ day of _____, 20____.

Ken Pabich
Director of Planning

TREASURER'S CERTIFICATE

As duly elected City Treasurer and Brown County Treasurer, We hereby certify that the records in our office show no unredeemed tax sales and no unpaid taxes or special assessments affecting any of the lands included in this Certified Survey Map as of the dates listed below.

Charlene M. Peterson Date
City Treasurer

Kerry M. Blaney Date
Brown County Treasurer

Sheet Two of Four
Project No.: F-5109
Drawing No.: L-8502

LIMITED LIABILITY COMPANY OWNER'S CERTIFICATE

EDS Associates, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that said limited liability company caused the easements to be granted and the land on this Certified Survey Map to be surveyed, divided, dedicated, and mapped as represented hereon. EDS Associates LLC does further certify that this Certified Survey Map is required to be submitted to the Brown County Planning Commission and the City of De Pere for approval or objection in accordance with current Land Subdivision Ordinances.

In Witness Whereof, the said EDS Associates LLC has caused these presents to be signed by _____, its Member, on this ____ day of _____, 20__.

Member

Personally came before me this ____ day of _____, 20__, the above named Member of said Limited Liability Company and acknowledged that he executed the foregoing instrument as such Member as the deed of said Limited Liability Company, by its authority.

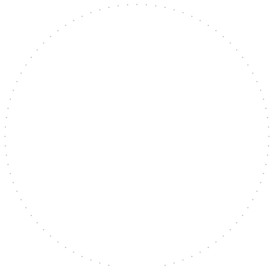
Notary Public
Brown County, Wisconsin

My Commission Expires _____

STATE OF WISCONSIN]
] SS
COUNTY OF BROWN]

RESTRICTIVE COVENANTS

- 1) The land on all side and rear lot lines of all lots shall be graded by the property owner and maintained by the abutting property owners to provide for adequate drainage of surface water.
- 2) Each lot owner shall grade the property to conform to the adopted sidewalk grade elevation and maintain said elevation for future sidewalks.
- 3) No poles, pedestals or buried cable are to be placed so as to disturb any survey stake or obstruct vision along any lot lines or street line, a disturbance of a survey stake by anyone is a violation of section 236.32 of the Wisconsin Statutes.



May 13, 2013

CONSENT OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat and does hereby consent to the above certificate of _____, Owner(s).

IN WITNESS WHEREOF, _____ has caused these presents to be signed by _____

_____, its _____ and countersigned by _____,

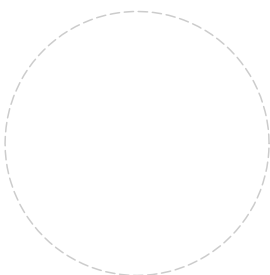
its _____, at _____, _____, this ____ day of _____, _____.

(signature #1) _____ (signature #2) _____
(print name #1) _____ (print name #2) _____
(print title #1) _____ (print title #2) _____

Personally came before me this ____ day of _____, _____, the above named officers of said corporation to me known to be the persons who executed the foregoing instrument and to me known to be such officers of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public My Commission Expires _____

STATE OF WISCONSIN]
] ss
COUNTY OF BROWN]



May 13, 2013

Office of the Register of Deeds
Brown County, Wisconsin
Received for Record _____, 20____,
at _____ o'clock _____ M and recorded as
Document # _____ in
Volume _____ of _____ on Page ____.
Cathy Williquette, Register of Deeds

Item #5b: Review A Single Lot And Single Outlot CSM On The Northwest Corner of Ashland Avenue, And Glory Road. Surveyor: Steve Bieda.

Steve Bieda has submitted a single lot and outlot CSM on behalf of the City. Lot 1 is 1.64 acres, and Outlot 1 is 1.80 acres. Lot 1 was approved by the Plan Commission to be rezoned to B-2 for future development. Outlot 1 will be retained by the City for possible future green space access along Ashwaubenon Creek.

Recommendation:

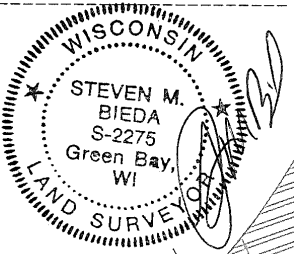
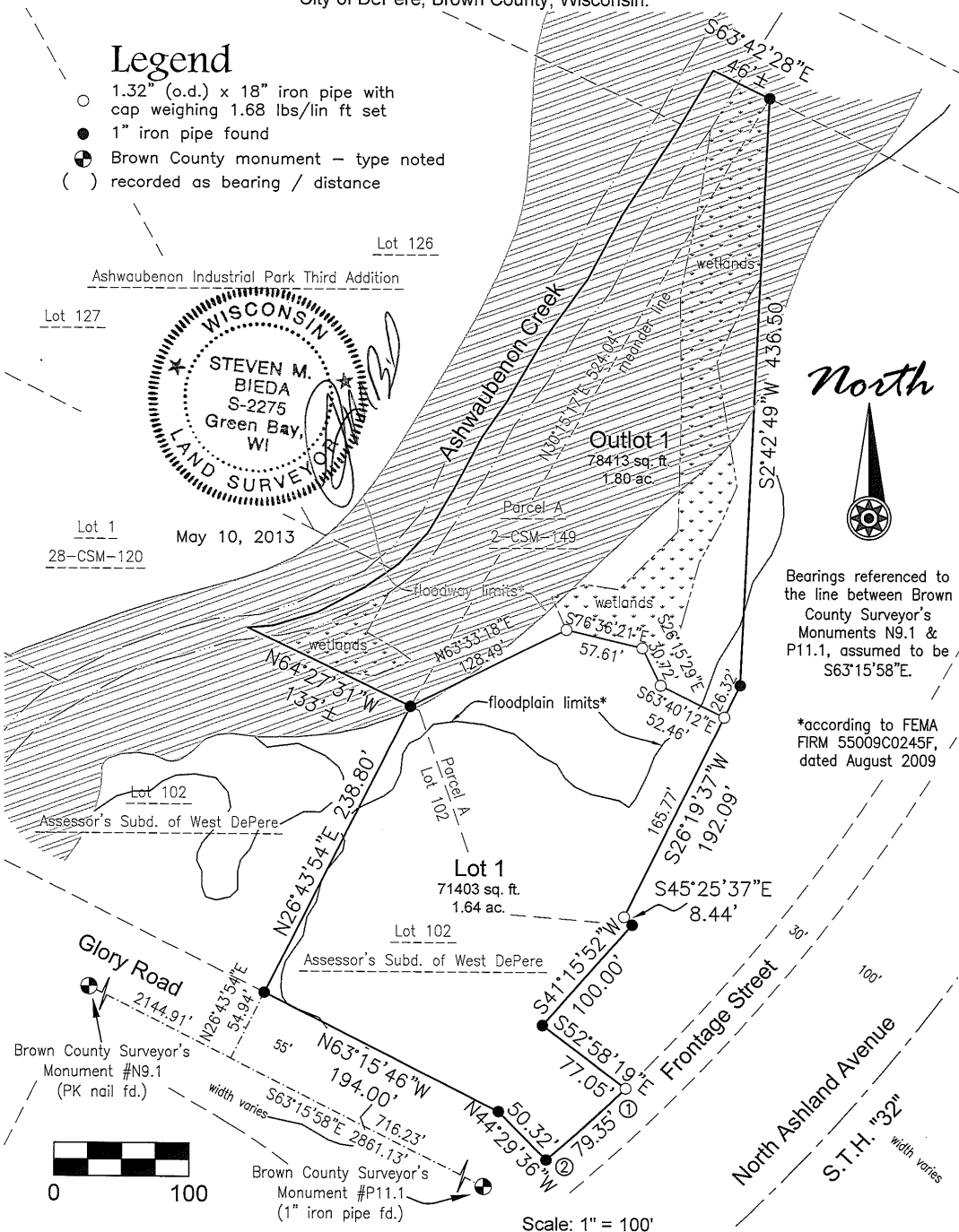
City staff would recommend approval of the CSM, and the CSM be forwarded to the Common Council for approval. The CSM must meet all other state and local regulations.

Certified Survey Map

A combination and depiction of the land boundaries recorded in Document Numbers 643134 (730-R-73) & 2458931, Brown County Records, said lands being part of Parcel A, Volume 2, Certified Survey Maps, page 149, Map Number 424, Document Number 641176, Brown County Records, and part of Lot 102 of the recorded "Assessor's Subdivision of West Depere", all being in part of Private Claim 27, West Side of the Fox River, in the City of DePere, Brown County, Wisconsin.

Legend

- 1.32" (o.d.) x 18" iron pipe with cap weighing 1.68 lbs/lin ft set
- 1" iron pipe found
- ⊙ Brown County monument - type noted
- () recorded as bearing / distance



Bearings referenced to the line between Brown County Surveyor's Monuments N9.1 & P11.1, assumed to be S63°15'58\"E.

*according to FEMA FIRM 55009C0245F, dated August 2009



Scale: 1" = 100'

Client: City of DePere
 Tax Parcel: WD-74 & WD-D0230
 Drafted By: BAR
 File: D-6013CSM 050713.dwg

Mau & Associates
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Fax: 920-434-9672

Sheet One of Three
 Project No.: D-6013
 Drawing No.: L-8501

SURVEYOR'S CERTIFICATE



I, Steven M. Bieda, Registered Land Surveyor, S-2275, do hereby certify that this certified survey map is not a division of property but solely a combination and depiction of the land boundaries recorded in Document Numbers 643134 (730-R-73) & 2458931, Brown County Records, said lands being part of Parcel A, Volume 2, Certified Survey Maps, page 149, Map Number 424, Document Number 641176, Brown County Records, and part of Lot 102 of the recorded "Assessor's Subdivision of West Depere", all being in part of Private Claim 27, West Side of the Fox River, in the City of DePere, Brown County, Wisconsin, more fully described as follows:

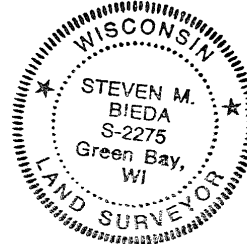
Commencing at the Brown County Surveyor's Monument #N9.1; thence S63°15'58"E, 2144.91 feet along a line between said monument and Brown County Surveyor's Monument #P11.1; thence N26°43'54"E, 54.94 feet to the Northerly right of way of Glory Road, and the point of beginning; thence continuing N26°43'54"E, 238.80 feet to a point being S64°27'31"E, 133 feet, more or less from the centerline of the Ashwaubenon Creek, and being the start of a meander line; thence N30°15'17"E, 524.04 feet along said meander line to the North line of Lot 102 of the recorded "Assessor's Plat of West DePere", and a point being S63°42'28"E, 46 feet, more or less from said centerline of Ashwaubenon Creek, and being the end of said meander line; thence S02°42'49"W, 436.50 feet along the East line of Parcel A, Volume 2, Certified Survey Maps, page 149, Map Number 424, Document Number 641176, Brown County Records; thence S26°19'37"W, 192.09 feet along said East line; thence S45°25'37"E, 8.44 feet; thence S41°15'52"W, 100.00 feet; thence S52°58'19"E, 77.05 feet to the Westerly right of way of the Frontage Street to State Trunk Highway "32", also known as North Ashland Avenue; thence 79.35 feet along said right of way being the arc of a 1302.39 foot radius curve to the right whose long chord bears S47°39'03"W, 79.34 feet; thence N44°29'36"W, 50.32 feet along said Northerly right of way of Glory Road; thence N63°15'46"W, 194.00 feet along said Northerly right of way to the point of beginning, including all lands lying between the meander line and the centerline of the Ashwaubenon Creek.

Parcel contains 149,816 square feet / 3.44 acres, more or less, including all lands lying between the meander line and the centerline of the Ashwaubenon Creek.

Parcel subject to easements and restrictions of record.

That such plat is a correct representation of all the exterior boundaries of the land survey. That I have made such a survey, and plat by the direction of the owners listed hereon. That I have fully complied with the provisions of Chapter 236, section 236.34 of the Wisconsin Statutes and the City of DePere in surveying, combining, and mapping the same. This map shall not create additional lots that are not of record.


Steven M. Bieda S-2275
May 10, 2013



CERTIFICATE OF THE CITY OF DE PERE

Approved for the City of DePere this _____ day of _____, 20____.

Ken Pabich
Director of Planning

CERTIFICATE OF THE BROWN COUNTY TREASURER

As duly elected Brown County Treasurer, I hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments affecting any of the lands included in this Certified Survey Map as of the dates listed below.

Kerry M. Blaney Date
Brown County Treasurer

Curve Data

CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING	CENTRAL ANGLE	TANGENT BEARING
1-2	79.35	1302.39	79.34	S47°39'03"W	03°29'28"	S49°23'47"W & N45°54'19"E





OWNER'S CERTIFICATE

The City of DePere, a Wisconsin municipal corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that said corporation caused the land described on this Certified Survey Map to be surveyed, combined, and mapped as represented hereon. The City of DePere does further certify that this Certified Survey Map is required to be submitted to the City of DePere for approval or objection in accordance with current Land Subdivision Ordinances. The City of DePere understands that the City will discontinue any public improvements upon discovery or notice of any other condition requiring abnormal public improvement costs. We further acknowledge that the City's action or inaction in this regard shall not be construed as an admission of liability for hazardous waste cleanup or burial site preservation costs.

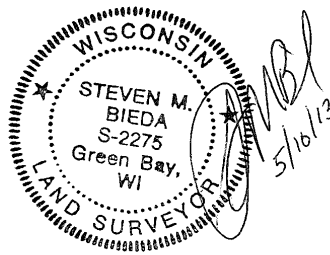
In Witness Whereof, the said City of DePere, has caused these presents to be signed by _____, it's _____ on this ____ day of _____, 20____,

Personally came before me this ____ day of _____, 20____, the above named Owners, to me known to the persons who executed the foregoing instrument and acknowledged the same.

Notary Public
Brown County, Wisconsin

My Commission Expires _____

STATE OF WISCONSIN]
] SS
COUNTY OF BROWN]



NOTES

The property owner, at the time of construction, shall implement the appropriate soil erosion control methods outlined in the Wisconsin Department of Natural Resources' applicable WDNR Technical Standards, to prevent soil erosion. However, if the Village/Town, at the time of construction, has adopted a soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction, or installation-related activities.

A Shoreland Permit from the Brown County Zoning Administrator's office is required prior to any construction, fill, or grading activity within 300 feet of a stream.

RESTRICTIVE COVENANTS

The land on all side and rear lot lines of all lots shall be graded by the property owner and maintained by the abutting property owners to provide for adequate drainage of surface water.

Each lot owner shall grade the property to conform to the adopted sidewalk grade elevation and maintain said elevation for future sidewalks.

No poles, pedestals or buried cable are to be placed so as to disturb any survey stake or obstruct vision along any lot lines or street line, a disturbance of a survey stake by anyone is a violation of section 236.32 of the Wisconsin Statutes.

Lots 1 contains an environmentally sensitive area (ESA) as defined in the Brown County Sewage Plan. The ESA includes wetlands, all land within 50 feet of wetlands 2 acres or greater and floodway plus all land within 35 feet or 75 feet beyond the ordinary high water mark – whichever is greater. Development and land disturbing activities are restricted in the ESA unless amendments are approved by the Brown County Planning Commission and the Wisconsin Department of Natural Resources.



Item #6: Review the Affidavit For Modifying the Green Area / Drainage Swale Width On Trailside Estates. Surveyor: Steve Bieda.

When the plat for Trailside Estates was approved there were two 55' easements that were included on the north, and south end of the plat. The north end was designed to provide a berm that would be used as a visual, and sound barrier from the future south bypass corridor (Rockland Road). The south-end was a similar concept since it was not known what the uses to the south would be at the time of approval since they were in the Town of Rockland.

The City has since added Susie Altmeyer Elementary School, and additional residential development to the south of Trailside Estates. Given this development, the need for a 55' easement at the southern end is no longer needed. With the homes being development on Melcorn, residents have requested that the City reduce the size of the easement. The attached Affidavit would reduce the Drainage/Green Space easement from 55' to 35'. Thirty-five feet is sufficient for the City to maintain the drainage along the rear of the lots.

Recommendation:

Staff would recommend approval of the affidavit, and the affidavit be forwarded to the Common Council for approval. The affidavit must meet all other state and local regulations.

Document No. _____

AFFIDAVIT

I, David J. Chrouser, Registered Land Surveyor, Number S-1579 of the State of Wisconsin, do hereby certify as follows:

- 1) That the recorded plat of "Trailside Estates" (Volume 22, Plats, page 173, Document Number 2141474, Brown County Records) contains a "55' Green Area / Drainage Swale" along the Southerly boundary of said Plat.
- 2) That the "55' Green Area / Drainage Swale" affects the parcels listed below in the chart labeled: 'Affected Lots'.
- 3) That the City of DePere hereby reduces the width to 35 feet as depicted on the attached Exhibit A and acknowledges the same by the certificate below.

Return to:
 Mau & Associates
 400 Security Boulevard
 Green Bay, WI 54313

Tax Parcel Number see chart

Approved by the City of DePere this ___ day of _____, 2013.

 Ken Pabich
 Director of Planning

- Affected Lots
- Lot 27 - ED-2649
 - Lot 28 - ED-2650
 - Lot 29 - ED-2651
 - Lot 30 - ED-2652
 - Lot 31 - ED-2653
 - Lot 32 - ED-2654
 - Lot 33 - ED-2655
 - Lot 34 - ED-2656
 - Lot 165 - ED-2787
 - Lot 166 - ED-2788
 - Lot 167 - ED-2789
 - Lot 168 - ED-2790
 - Lot 169 - ED-2791
 - Lot 170 - ED-2792
 - Lot 171 - ED-2793
 - Lot 172 - ED-2794
 - Lot 173 - ED-2795
 - Lot 174 - ED-2796
 - Lot 175 - ED-2797
 - Lot 176 - ED-2798
 - Lot 177 - ED-2799
 - Lot 178 - ED-2800
 - Lot 179 - ED-2801
 - Lot 180 - ED-2802
 - Lot 181 - ED-2803
 - Lot 182 - ED-2804

Dated this _____ day of _____, 2013

_____ (SEAL)
 David J. Chrouser

AUTHENTICATION

Signature(s) _____

 authenticated this _____ day of _____,

TITLE: MEMBER STATE BAR OF WI
 (if not, _____
 authorized by 706.06, WI Stats.)
 This instrument was drafted by:
 Brad A. Rymer

 Mau & Associates
 Signatures may be authenticated or
 acknowledged. Both are not necessary.

ACKNOWLEDGMENT

STATE OF WISCONSIN]
] SS
 COUNTY OF Brown]
 Personally came before me this 20th
 day of May, 2013, the above
 named _____
 David J. Chrouser

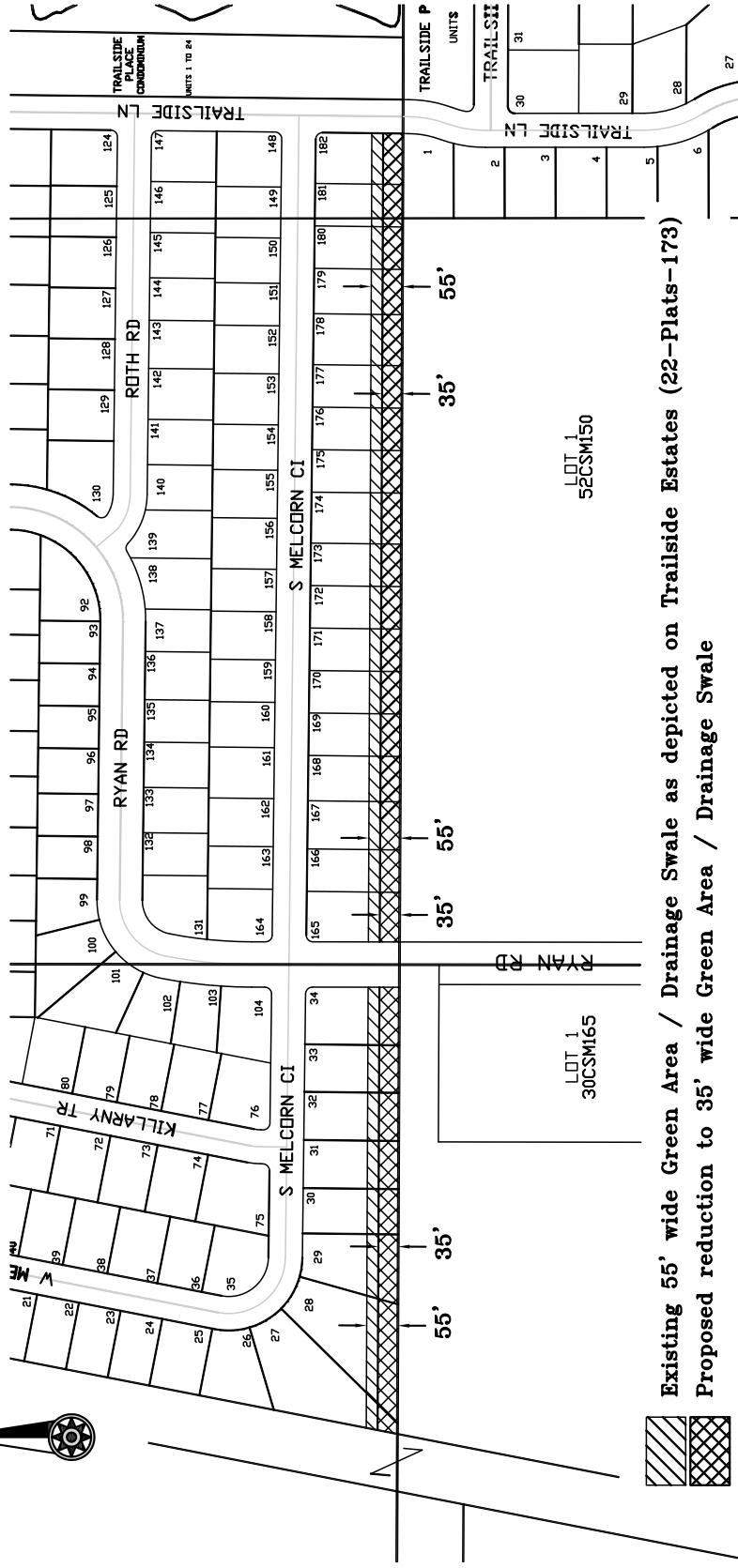
_____ to me known to be the person(s) who
 executed the foregoing instrument and
 acknowledged the same.

 Steven M. Bieda
 Notary Public Brown County, WI.
 My commission expires 01/11/15

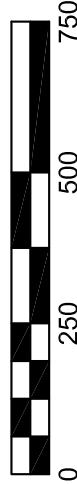
Exhibit A

Part of Lots 27-34 & 165-182 of the recorded plat of "Trailside Estates" (Volume 22, Plats, page 173, Document Number 2141474, Brown County Records), said Lots being located in part of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of the Government Lot 1, Section 3, T22N-R20E, in the City of DePere, Brown County, Wisconsin.

North



Existing 55' wide Green Area / Drainage Swale as depicted on Trailside Estates (22-Plats-173)
 Proposed reduction to 35' wide Green Area / Drainage Swale



**Item #7: Review The Extraterritorial 4 Lot CSM On Tezlaff Road In The Town Of Rockland.
Surveyor: Steve Zeitler.**

Steven Zeitler has submitted a four (4) lot extraterritorial CSM. Lot 1 is 10 acres, Lot 2 is 10 acres, Lot 3 is 10.04 acres, and Lot 4 is 10 acres. The CSM divides Section 19, T.22 N.-R.21 E., in the Town of Rockland. The seller has outlined restrictive covenants on these lots for future development.

Under our review, the City ensures that a CSM meets the standards of Chapter 46 which governs our Platting and Division of Land. For areas within our urban reserve, the code, as written, sets out general requirements, design standards and use standards.

In June of 2010, the Wisconsin legislature changed how a municipality can review a Plat or CSM by taking away the ability to look at proposed use of an extraterritorial plat. Specifically 2010 Wisconsin Act 399 states:

"236.45(3) (b) Notwithstanding par. (a) and subs. (1) and (2), a municipality may not deny approval of a plat or certified survey map under this section or s. 236.10 or 236.13 on the basis of the proposed use of land within the extraterritorial plat approval jurisdiction of the municipality, unless the denial is based on a plan or regulations, or amendments thereto, adopted by the governing body of the municipality under s. 62.23 (7a) (c)."


Based on Act 399, the City cannot consider using the land use standards set out in §46-4(h). However, the standards set forth in §46-4(g), which do not look at proposed use as review criteria, still apply. Under §46-4(g) the proposed CSM does meet the following:

1. Section 46-4 (g) 1.5: Lots within urban reserve area of extraterritorial review jurisdiction. Every lot within the urban reserve area of the extraterritorial review jurisdiction shall be a minimum of ten acres in area.
2. Section 46-4 (g) 2.5: Lot dimensions within urban reserve area of extraterritorial review jurisdiction. Every lot within the urban reserve area of the extraterritorial review jurisdiction shall have a minimum lot width and frontage of not less than 300 feet.

Based on these provisions, the proposed CSM does meet the 10 acre minimum lot size, and all four lots meet minimum lot frontage.

Recommendations

Staff would recommend approval of the CSM, and that the CSM be forwarded to the Common Council for approval. The CSM must meet all other state and local regulations.

	CITY OF DE PERE APPLICATION FOR CSM REVIEW	Fee: \$ 300.00 Receipt #: <u>82961</u> Date: <u>5-22-18</u>
---	---	--

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: Duane & Lynda Tetzlaff
 Mailing Address: 5177 Tetzlaff Road, De Pere, WI
 Phone: 920-336-5579 Fax #: _____
 Email: dtetz@yahoo.com

I hereby appoint the following as my agent for purposes of this application:

Agent: Name: _____
 Mailing Address: _____
 Phone: _____ Fax #: _____
 Email: _____

B. Property Information

Address/Location of Property: Tetzlaff Road (SE-NW Sect 19 Rockland)

Parcel #: R-275

NOTE: Please submit 1 hard copy and 1 PDF copy of the CSM if the property is located within the City or if the property is located within the extraterritorial jurisdiction.

A CSM Review is requested as authorized by the De Pere Municipal Code, Chapter 46.

Duane Tetzlaff
Owner Signature

5-13-18
Date

Agent Signature

Date

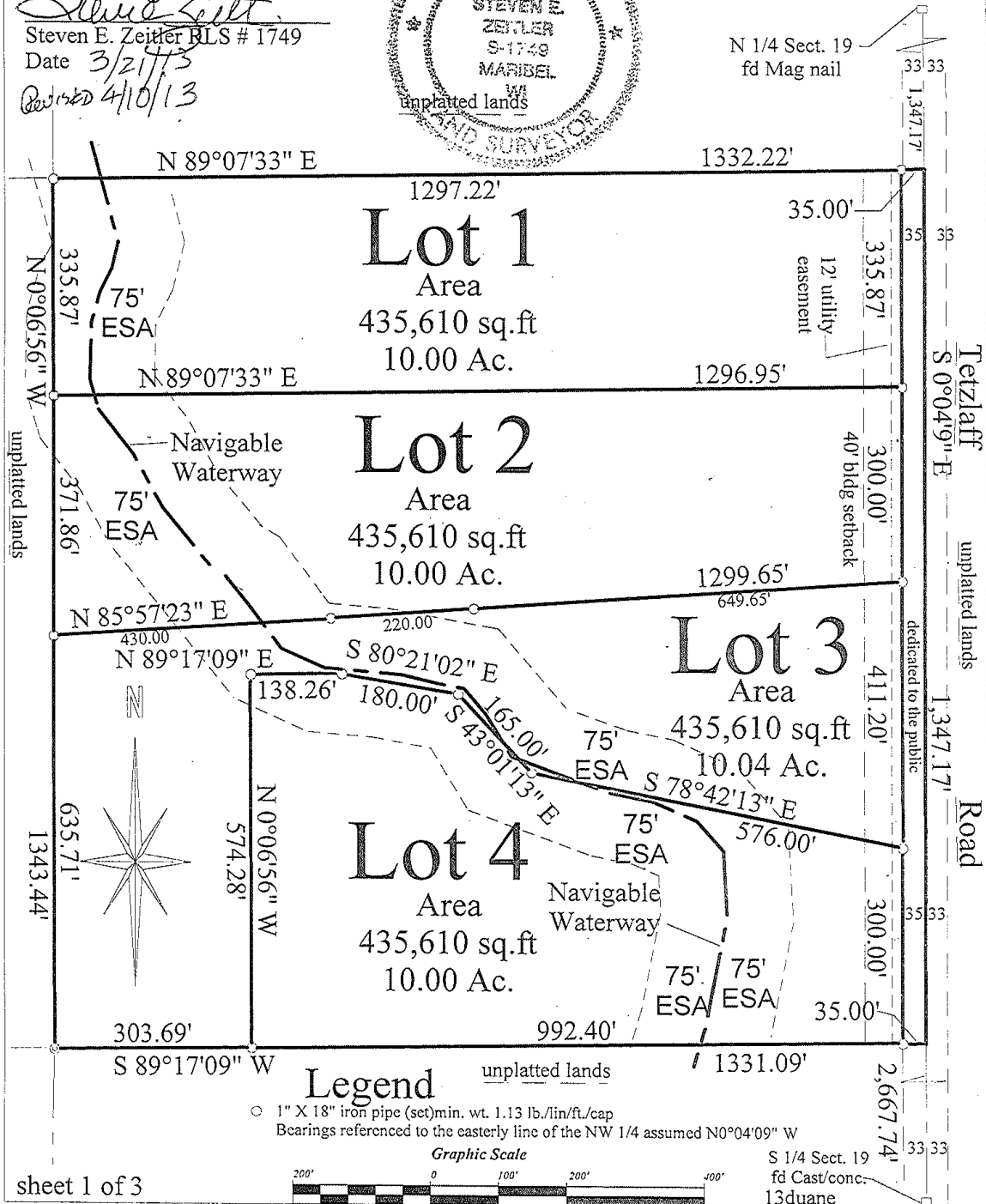
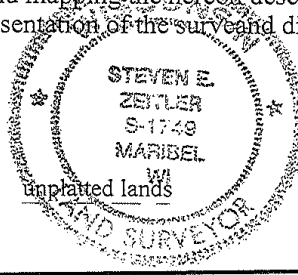
CERTIFIED SURVEY MAP

ALL OF THE SE-NW OF SECTION 19, T.22 N.- R.21 E.,
TOWN OF ROCKLAND, BROWN COUNTY, WISCONSIN

Surveyors Certificate:

I, Steven E. Zeitler, Registered Land Surveyor, do hereby certify that I have surveyed, divided, and mapped the land described hereon; that I have made such survey and map by the direction of the owners listed hereon; and that I have complied with the provisions of Chapter 236 Section 236.34 of the Wisconsin Statutes, the Town of Rockland, and the Brown County Planning Commission in surveying, dividing and mapping the hereon described parcel of land and that the map hereon is a true and correct representation of the survey and division thereof.

Steven E. Zeitler
Steven E. Zeitler BLS # 1749
Date 3/21/13
Revised 4/10/13



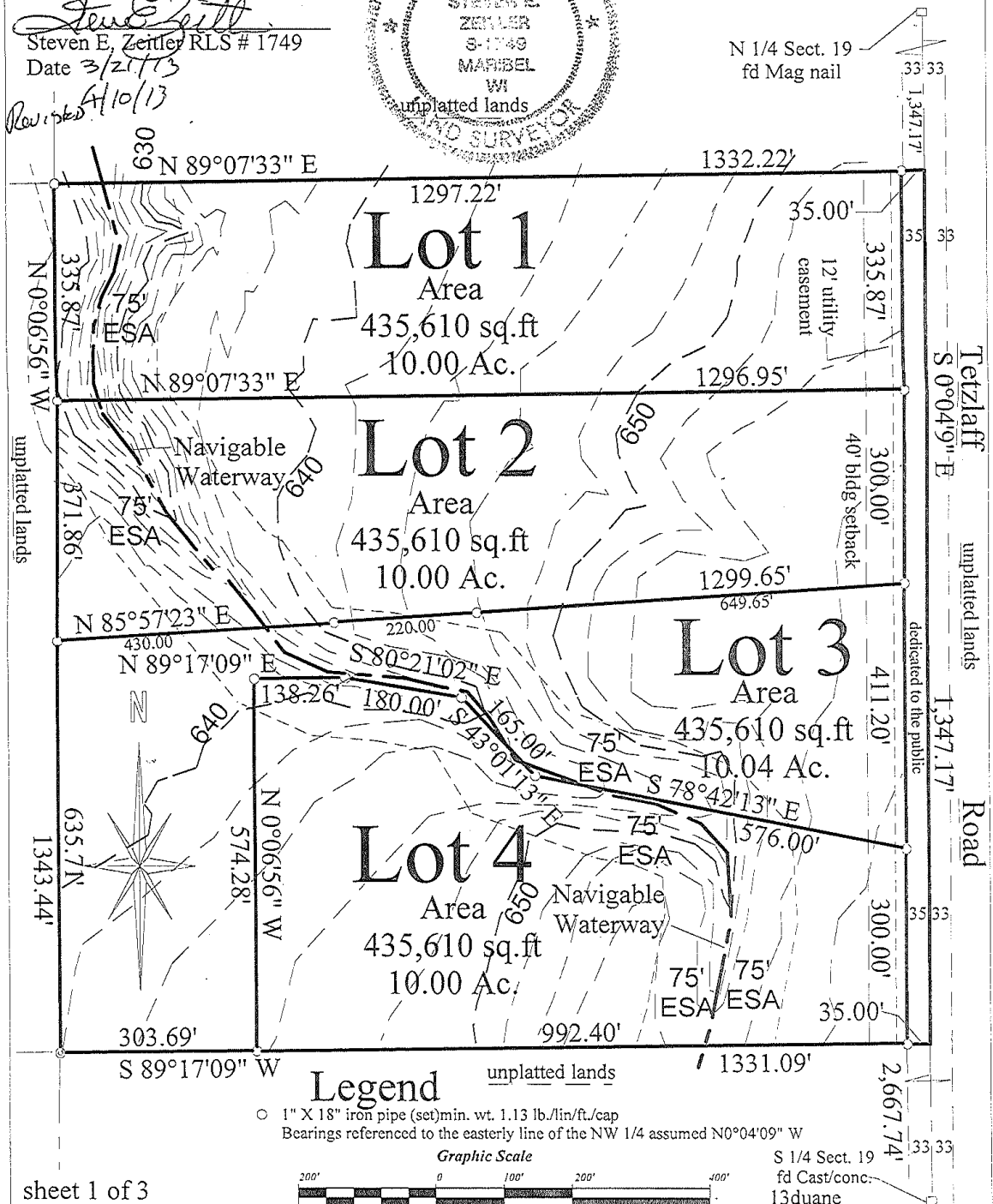
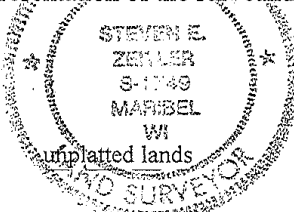
CERTIFIED SURVEY MAP

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Steven E. Zeitler
Steven E. Zeitler RLS # 1749
Date 3/21/13
Revised 4/10/13

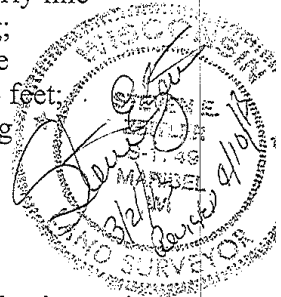


CERTIFIED SURVEY MAP

PART OF THE SE-NW, OF SECTION 19, T.22 N.- R.20 E.,
TOWN OF ROCKLAND, BROWN COUNTY, WISCONSIN

Description

All of the Southeast 1/4 of the Northwest 1/4, of Section 19, T.22 N.- R.20 E.,
Town of Rockland, Brown County, Wisconsin described as;
Commencing at the North 1/4 Corner of Section 19; thence along the easterly line
of the NW 1/4 South 0°04'09" East 1,347.17 feet to the point of beginning;
thence continuing along said line South 0°04'09" East 1,347.17 feet; thence
South 89°17'07" West 1,331.09 feet; thence North 0°06'56" West 1,343.44 feet;
thence North 89°07'32" East 1,332.23 feet point of beginning and including
those lands previously conveyed for highway purposes.



RESTRICTIVE COVENANTS

1. A. Shoreline permit from the Brown County Zoning Administrator's Office is required for Lots 1 - 4 prior to any construction, fill or grading activity within 300 feet of a stream.
2. The property owners, at the time of construction, shall implement the appropriate soil erosion control methods outlined in "Wisconsin Construction Site Best Management Practice Handbook" (Available from the Wisconsin Department of Natural Resources) to prevent soil erosion. However, if at the time of construction the Town has an adopted soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction or installation related activities.
3. No development shall occur on Lots 1 - 4 until such time that public sewer and water is available or the construction of structures which rely upon onsite sewage disposal systems for sanitary waste disposal shall be prohibited on the remnant unplatted lands until all state, county, and municipal regulations have been met and a sanitary permit has been issued by the Brown County Zoning Administrator's Office.
4. The land on all side and rear lot lines of all lots shall be graded by the owner and maintained by abutting property owners to provide for adequate drainage of surface water.
5. Lots 1 - 4 contain an Environmentally Sensitive Area (ESA) as defined in the Brown County Sewage Plan. The ESA includes the wetlands, all land within 35 feet of the wetlands 2 acres or greater, floodway, all land within 35 feet of the floodway or 75 feet beyond the ordinary high water mark - whichever is greater, navigable waterways, and all land within 75 feet of the ordinary high water mark of navigable waterways. Development and land disturbing activities are restricted in the ESA unless amendments are approved by the Brown County Planning Commission and the Wisconsin Department of Natural Resources.

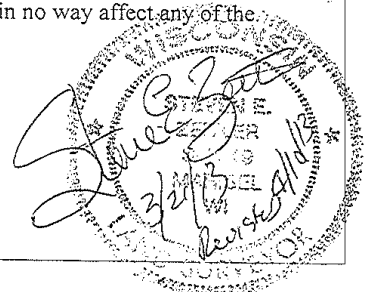
See sheet 3 of 4 for additional covenants

CERTIFIED SURVEY MAP

PART OF THE SE-NW, OF SECTION 19, T.22 N. R.20 E.,
TOWN OF ROCKLAND, BROWN COUNTY, WISCONSIN

RESTRICTIVE COVENANT CONTINUED:

1. No Poles, pedestals, buried cable, fire hydrants, or any utilities are to be placed so as to disturb any survey monument or obstruct vision along any lot line or street line; disturbance of a survey monument by anyone is a violation of Section 236.32 of the Wisconsin Statutes.
2. No buildings erected elsewhere shall be moved onto any lot or lots. All Principle Buildings shall be stick or component built structures on Site.
3. To temporary structures (including without limitation: trailor. basement without residence above, tent, shack, garage, or barn of any kind. will be permitted for dwelling purposes. There shall be no mobilehomes nor pre-fab homes.
4. Only single-family residences shall be permitted in this Plat. Said residences shall meet the following minimum square footage requirements:
 - (a) any 2- story home shall have a minimum of 2,400 square feet of living space.
 - (b) any ranch home shall have a minimum of 2,400 square feet of living space.
5. Every house shall have a foundation below the frost line.
- 6 No residence shall be erected on any lot in this Plat until the final construction plans and plans showing the location of the structure on the lot have been approved in writing by Duane L. and Lynda L., Husband and Wife (or either of them if the other fails to act for any reason) (or by such person or persons as they may delegate in writing).
7. The land occupied by public utility easements of the lots shall not be graded in such a manner as to interfere with drainage of storm water.
8. Any dwelling shall be completed within one (1) year after the commencement of construction, and every structure must have a permanent finish on the exterior within one (1) year after the commencement of construction.
9. Outside parking or external storage of boats, campers, snowmobiles, cars, trailers, motorhomes or other recreational vehicles, on the property shall only be temporary in order to permit time to load or unload. This temporary period is defined as a two-day period. Irrespective of the foregoing, however, there is permitted one such unit (not one of each). which may be permanently parked outside (i.e. not garaged).
10. All electrical and telephone service lines shall be buried underground from the main service line to any residence, garage or other structure.
11. No cattle, swine, sheep, goats, or live poultry of any kind, shall be kept upon the premises. A maximum of two horses may be kept provided that they are privately used by the owners and occupants of said property. Small pets (not to exceed two of each type, ie two cats, two dogs) may be kept upon the premises provided they are privately used by the owners and occupants of said property. Specifically prohibited is the raising of horses for a riding stable or the maintenance of a riding stable, the raising or keeping of dogs or other animals for commercial use or in use as a kennel. All pets must be tied or otherwise contained within the owner's yard; and such owner shall take reasonable precautions to prevent obnoxious odors or other conditions offensive to the senses to exist upon the premises, so as not to constitute a nuisance to adjacent property owners.
12. No nuisance shall be maintained or suffered to exist in the plat.
13. There shall be no outside burning of trash without the proper permit.
14. There shall not be any business operated from or upon the premises, except those businesses which can be wholly conducted within the residence building upon the premises - - and such allowed activity shall not generate noise, fumes or dust or disturbance which shall extend beyond the premises in which it is located and shall not unduly increase the traffic to and from the premises. No signs shall be permitted. (By example, business operations which may qualify to be allowed include such activities as accounting, real estate broker activities, insurance agency activities, craft businesses).
15. All garbage and refuse must be placed in plastic bags or sanitary containers with a cover on it. There shall be no garbage or refuse left on the ground. During the period of time garbage must be kept upon the premises, properly-contained, care shall be taken that it is stored and kept within the lot lines of the respective owner.
16. These covenants shall run with the land and be binding upon all parties and all persons claiming under them.
17. Enforcement of these covenants may be by the developers of the Plat and /or the owner of any lot in the Plat, by injunctive relief as well as any and every other legal right.
18. Detached garages or out buildings are not permitted on any lot unless exterior is identical to the residence constructed on sit (or similar)
21. Invalidaton of any one of these covenants by judgement or court order shall in no way affect any of the other provisions, which shall remain in full force and effect.



CERTIFIED SURVEY MAP

PART OF THE SE-NW, E OF SECTION 19, T.22 N.- R.20 E. ,
TOWN OF ROCKLAND, BROWN COUNTY, WISCONSIN

OWNERS CERTIFICATE:

As owners, we hereby certify that we caused the land described on this map to be surveyed, divided, mapped and dedicated as represented hereon; we also certify that this Certified Survey Map is required to be submitted to the Town of Rockland, City of De Pere and the Brown County Planning Commission for approval or objection in accordance with current Land Subdivision Ordinances.

Duane L. Tetzlaff

Lynda L. Tetzlaff

STATE OF WISCONSIN
BROWN COUNTY)SS

Personally came before me this ____ day of _____, 2013 the above named owners, to me known to be the persons who executed the foregoing instrument and acknowledge the same.

Notary Public

Steven E. Zeitler

My commission expires 1/15/17

TOWN OF ROCKLAND APPROVAL:

Approved by the Town of Rockland, Brown County
Wisconsin, on the ____ day of _____, 2013.

Toni Carter

Town Clerk

CITY OF DE PERE APPROVAL:

Approved by the City of De Pere, Brown County, Wisconsin
on the ____ day of _____, 2013

Kenneth Pabich Planning & Economic Development Director

BROWN COUNTY PLAN COMMISSION APPROVAL:

Approved by the Brown County Planning Commission
this ____ day of _____, 2013

Peter Schleinz

Senior Planner

TREASURER'S CERTIFICATE

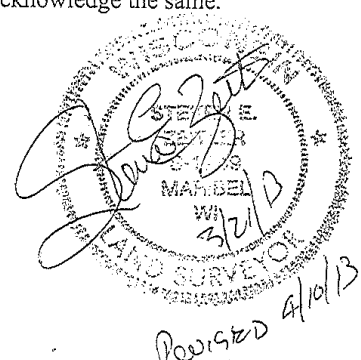
As duly elected Brown County Treasurer, we hereby certify that the records in our office show no unpaid taxes; no unredeemed tax sales and no unpaid special assessments affecting any of the lands included as of the date listed below.

for recording

Kerry M. Blaney

Date

Brown County Treasurer



Item #8: Review Zoning Code Amendment(s) For Rezoning Protest Petitions, And Time For Council Action On Rezoning Applications.

When a rezoning occurs, neighboring properties can prepare a protest petition which then requires the rezoning to pass by 3/4 majority vote of the City Council. In our existing code, it has been difficult for residents to understand how to file the protest petition.

The proposed amendment provides more detail on what is needed for a protest petition to be filed, and also the timeline for when it can be submitted. The amendment also clarifies the timeline in which the Council needs to act on a rezoning.

Recommendations

Staff would recommend approval of the amendment, and the amendment be forwarded to the Common Council for a hearing, and approval.

ORDINANCE #13-

AMENDING §14-29(7) DE PERE MUNICIPAL CODE
REGARDING REZONING PROTEST PETITIONS AND
TIME FOR COUNCIL ACTION ON REZONING APPLICATIONS

THE COMMON COUNCIL OF THE CITY OF DE PERE, WISCONSIN, DO ORDAIN

AS FOLLOWS:

Section 1. §14-29(7)(b) is hereby repealed and recreated as follows:

- (b)(1) The Common Council may grant or deny any application for an amendment; provided however that in case of a protest against a proposed amendment duly signed and acknowledged by the owners of 20% or more either of the areas of land included in such proposed amendment, or by the owners of 20% or more of the area of the land immediately adjacent extending 100 feet therefrom, or by the owners of 20% or more of the land directly opposite thereto extending 100 feet from the street frontage of such opposite land, such amendment shall not become effective except by the favorable vote of three-fourths of the members of the Council voting on the proposed change.
- (2) Any protest petition shall be filed with the City Clerk-Treasurer no later than noon on the Friday preceding the scheduled vote.

Section 2. §14-27(7)c) is hereby repealed and recreated as follows:

- (c) If an application for a proposed amendment is not acted upon finally by the Common Council within 90 days of the public hearing for such amendment, it shall be deemed to have been denied. This paragraph shall not apply in circumstances where the application is referred back to staff or committee after the public hearing is held.

Section 3. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 4. This ordinance shall take effect on and after its passage and publication.

Adopted by the Common Council of the City of De Pere, this ____ day of _____,
2013.

APPROVED:

Michael J. Walsh, Mayor

ATTEST:

Shana L. Defnet, Clerk-Treasurer

Ayes: _____

Nays: _____